

Project: Blue Sky Townhouses

Address: 675 Black Mountain Drive, Kelowna

Current Zoning: MF3

Proposed Zoning: MF2

Project Overview

The proposed Blue Sky Towns development is a suburban townhouse development in Kelowna's Black Mountain neighborhood, positioned alongside the Black Mountain Golf Course. Comprising 57 townhouses, the project aims to achieve a balanced increase in residential density under MF2 zoning, enhancing the neighborhood's housing diversity while preserving its suburban character.

Conformity with Relevant Policies

Blue Sky Towns aligns with Kelowna's Official Community Plan (OCP) by supporting moderate residential density in a suburban context. The MF2 zoning proposal is well-suited to the area's infrastructure capacity and promotes controlled, sustainable growth, aligning with the city's goals for suburban neighborhoods. The project leverages its proximity to the golf course and other local amenities, making it a desirable addition to the neighborhood.

Form and Character

The design integrates into the suburban landscape, maintaining a scale that complements nearby properties. The townhouse units are positioned along Black Mountain Drive to establish a cohesive streetscape, with the structure's low-rise format and stacked townhouse design achieving the intended density without overwhelming the surroundings. The project's rhythm, articulation, and material changes contribute to a dynamic street frontage, creating a balanced flow between individual units that enhances neighborhood character.

Material Selection

The project utilizes a durable, low-maintenance material palette, including dark grey and white brick veneer, midnight black and arctic white board and batten cementitious cladding. This selection ensures the development's aesthetic and functional longevity, blending seamlessly with the natural surroundings while offering a modern look that complements the area's established character.

Neighborhood Context

Adjacent to the Black Mountain Golf Course, Blue Sky Towns provides residents with scenic views and convenient access to recreational spaces. This strategic placement aligns with

Kelowna's vision of integrating natural amenities into residential settings, enhancing residents' connection to the environment and supporting a strong sense of community identity.

Relationship to Adjacent Properties

The development respects surrounding properties by incorporating strategic setbacks to ensure privacy and preserve sightlines. A 3.0m front setback, 2.1m side setbacks, and a 4.5m rear setback adjacent to the golf course provide appropriate separation, creating a buffer that minimizes impact on neighboring views while promoting compatibility with proposed land use.

OCP Objectives

- **Relationship to Street:** Blue Sky Towns features clearly visible front doors and well-defined pathways throughout the site, enhancing connectivity and accessibility. The design emphasizes rhythm and articulation along the street, establishing a consistent, visually engaging pattern for pedestrians.
- **Scaling and Massing:** The project successfully incorporates higher density while maintaining a residential scale appropriate for the neighborhood. Material variation and strategic massing between units reinforce a rhythmic pattern, establishing a cohesive yet varied streetscape.
- **Site Planning:** To promote connectivity, the main building entrances are integrated with public sidewalks and open spaces. Internal circulation is designed to connect smoothly with the planned public street network, supporting a pedestrian-friendly environment while ensuring connectivity across the site. The massing of buildings is separated to optimize solar exposure for each unit.
- **Open Spaces:** Rooftop amenity spaces add private areas for residents to enjoy outdoor activities, contributing to the development's appeal and supporting Kelowna's goals for enhanced residential amenities in suburban neighborhoods.
- **Site Servicing, Access, and Parking:** Waste and recycling needs are met with Molok bins, providing a clean and well-designed waste solution. Rear-access garages on public street-facing townhouses ensure a discreet parking solution, complemented by a mix of individual and centralized parking options for residents and visitors. This layout also includes green spaces, balancing functional needs with the aesthetics of the site.

In conclusion, Blue Sky Towns represents a well-designed and thoughtfully integrated development that aligns with Kelowna's OCP goals for sustainable, medium-density housing. By harmonizing with the neighborhood's character, enhancing connectivity, and providing diverse housing options alongside unique amenities, the project contributes positively to the Black Mountain community. Its alignment with MF2 zoning similar to other near by developments ensures balanced growth while preserving the suburban context, making it a valuable addition to Kelowna's evolving residential housing.

BLUESKY TOWNHOUSES



DEVELOPMENT PERMIT

FEBRUARY 14, 2025

DRAWING LIST:

DP.000	COVER
DP.001	SITE INFORMATION
DP.100	SITE PLAN
DP.101	BUILDING 1 FLOORPLANS
DP.102	BUILDING 2 FLOORPLANS
DP.103	BUILDING 3 FLOORPLANS
DP.104	BUILDING 4 FLOORPLANS
DP.105	BUILDING 5 FLOORPLANS
DP.106	BUILDING 6 FLOORPLANS
DP.107	BUILDING 7 FLOORPLANS
DP.108	BUILDING 8 FLOORPLANS
DP.109	BUILDING 9 FLOORPLANS
DP.110	BUILDING 10 FLOORPLANS
DP.111	BUILDING 1 FLOORPLANS
DP.112	BUILDING 2 FLOORPLANS
DP.113	BUILDING 3 FLOORPLANS
DP.114	BUILDING 4 FLOORPLANS
DP.115	BUILDING 5 FLOORPLANS
DP.116	BUILDING 6 FLOORPLANS
DP.117	BUILDING 7 FLOORPLANS
DP.118	BUILDING 8 FLOORPLANS
DP.119	BUILDING 9 FLOORPLANS
DP.120	BUILDING 10 FLOORPLANS
DP.200	BUILDING 1 ELEVATIONS
DP.201	BUILDING 2 ELEVATIONS
DP.202	BUILDING 3 ELEVATIONS
DP.203	BUILDING 4 ELEVATIONS
DP.204	BUILDING 5 ELEVATIONS
DP.205	BUILDING 6 ELEVATIONS
DP.206	BUILDING 7 ELEVATIONS
DP.207	BUILDING 8 ELEVATIONS
DP.208	BUILDING 9 ELEVATIONS
DP.209	BUILDING 10 ELEVATIONS
DP.300	STREETSCAPE
DP.400	MATERIAL BOARD

PROJECT INFORMATION

PARCEL ADDRESS:

LEGAL:	PLAN KAP87003 LOT 3
MUNICIPAL:	675 BLACK MOUNTAIN DR, KELOWNA, BC
CURRENT ZONING:	MF3
PROPOSED ZONING:	MF2

TOTAL BUILDING AREA (WITHOUT GARAGE)

BUILDING 1	= 12 112.50 SQ.FT
BUILDING 2	= 12 112.50 SQ.FT
BUILDING 3	= 3 460.00 SQ.FT
BUILDING 4	= 10 382.00 SQ.FT
BUILDING 5	= 12 112.50 SQ.FT
BUILDING 6	= 6 921.00 SQ.FT
BUILDING 7	= 6 921.00 SQ.FT
BUILDING 8	= 10 382.00 SQ.FT
BUILDING 9	= 12 112.50 SQ.FT
BUILDING 10	= 12 112.50 SQ.FT
TOTAL:	= 98 628.50 SQ.FT (8162.89 SQ.M)
FAR:	= 0.87
PARCEL AREA:	=113 146.50 SQ.FT (10 511.65 SQ.M)

TOTAL SITE COVERAGE

BUILDING FOOTPRINT	= 40 752.27 SQ.FT (36.02%)
SIDEWALK / APRON	= 14 752.41 SQ.FT (13.04%)
ASPHALT	= 25 045.96 SQ.FT (22.14%)
SOFTSCAPE	= 32 595.12 SQ.FT (28.80%)

SETBACKS:

	PERMITTED	PROPOSED
NORTH (GOLF CLUB)	3M	3M
EAST (GOLF COURSE)	4.5M	4.5M
SOUTH (GOLF COURSE)	2.1M	2.1M
WEST (BLACK MOUNTAIN DR)	2.1M	2.1M

VEHICULAR PARKING:

VEHICLE PARKING REQUIREMENT:	
MIN ACCESSIBLE PARKING 4 PER 101-150 REQUIRED PROVIDED	= 4 STALLS
MIN VAN ACCESSIBLE PARKING 1 PER 101-150 REQUIRED PROVIDED	= 1 STALLS
REDEDENTIAL MIN 2 SPACES PER 3 BED VISITOR 0.14 VEHICLE STALLS / UNIT	= 114 STALLS = 8 STALLS
TOTAL REQUIRED STALLS	= 122 STALLS
TOTAL VEHICULAR STALLS PROVIDED	= 128 STALLS PROPOSED

BICYCLE PARKING:

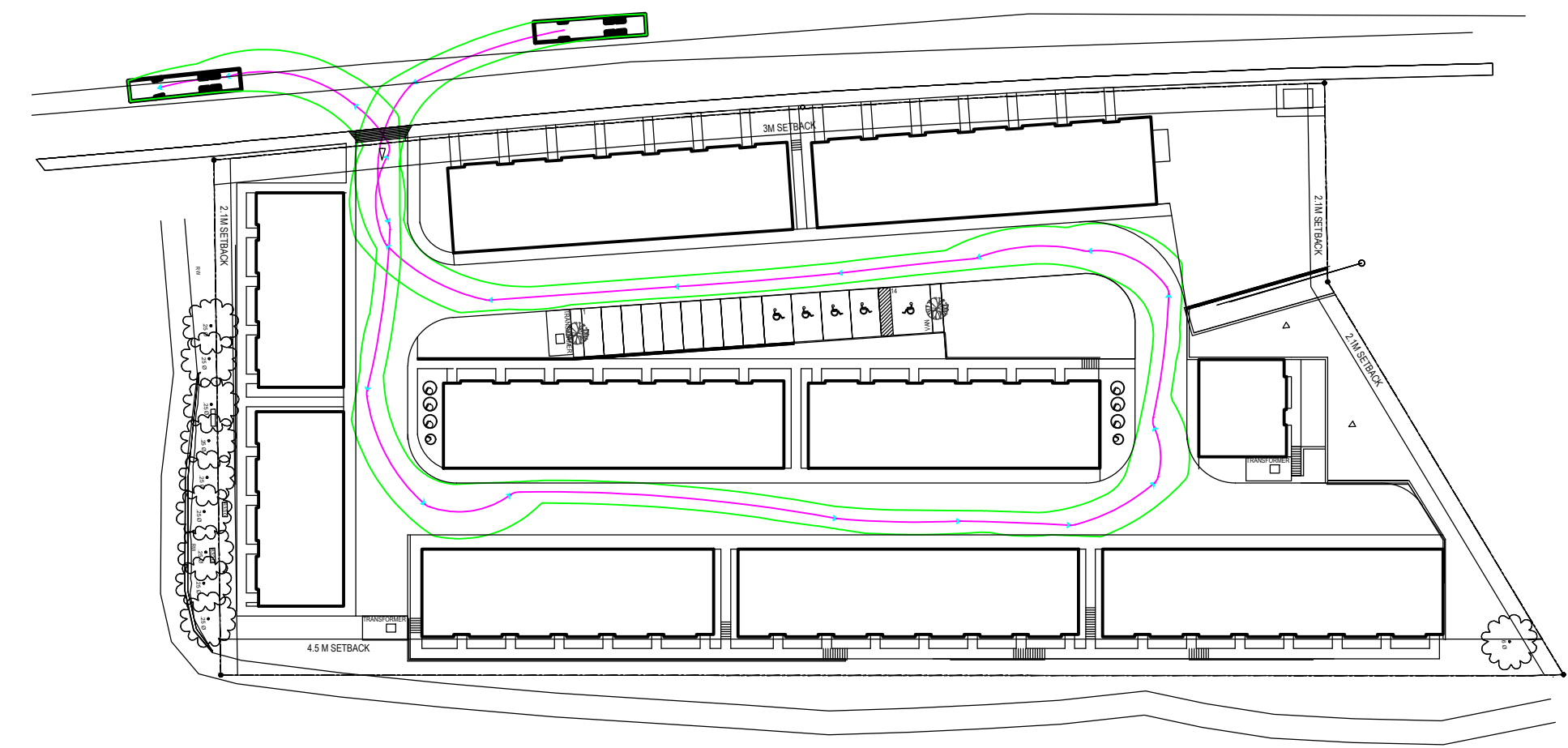
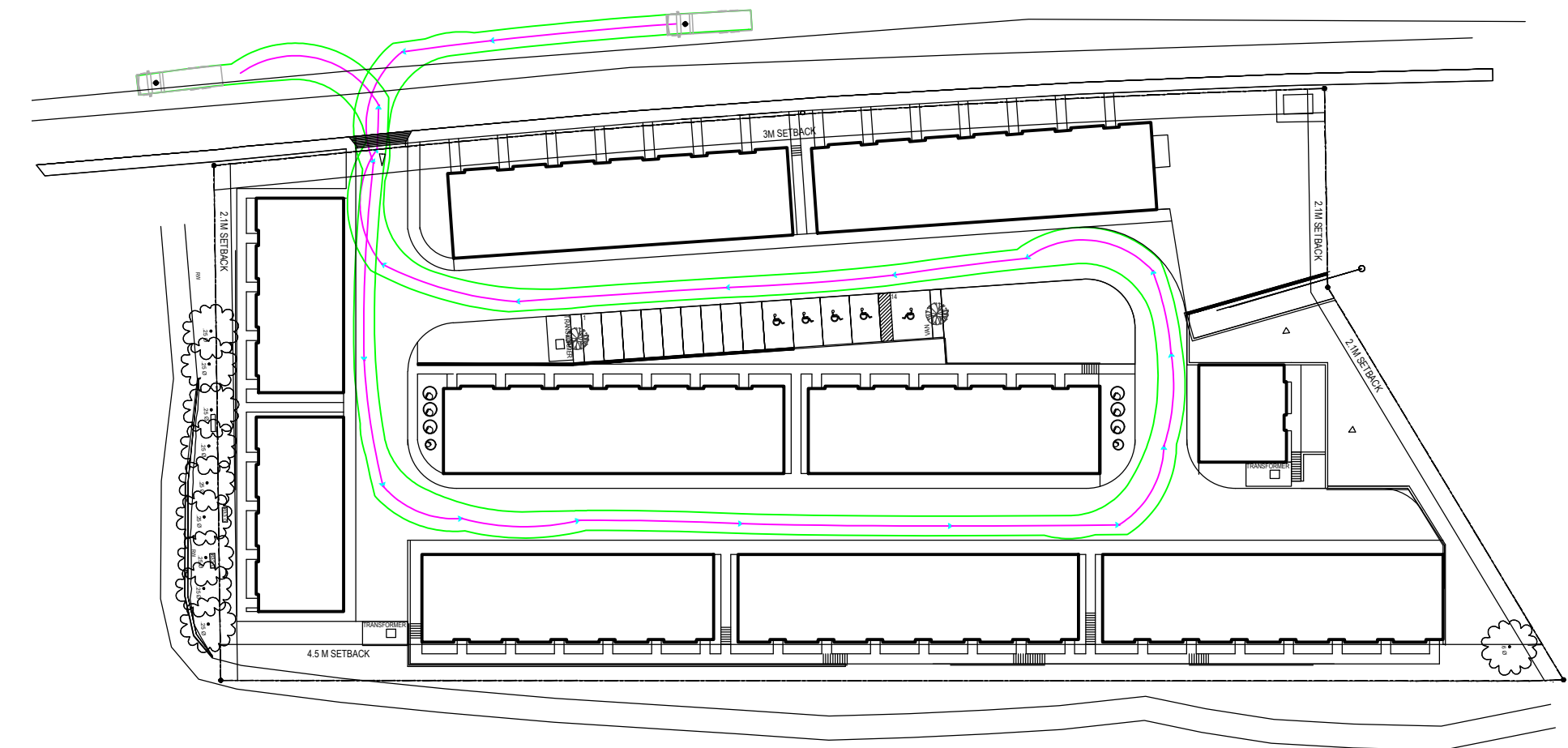
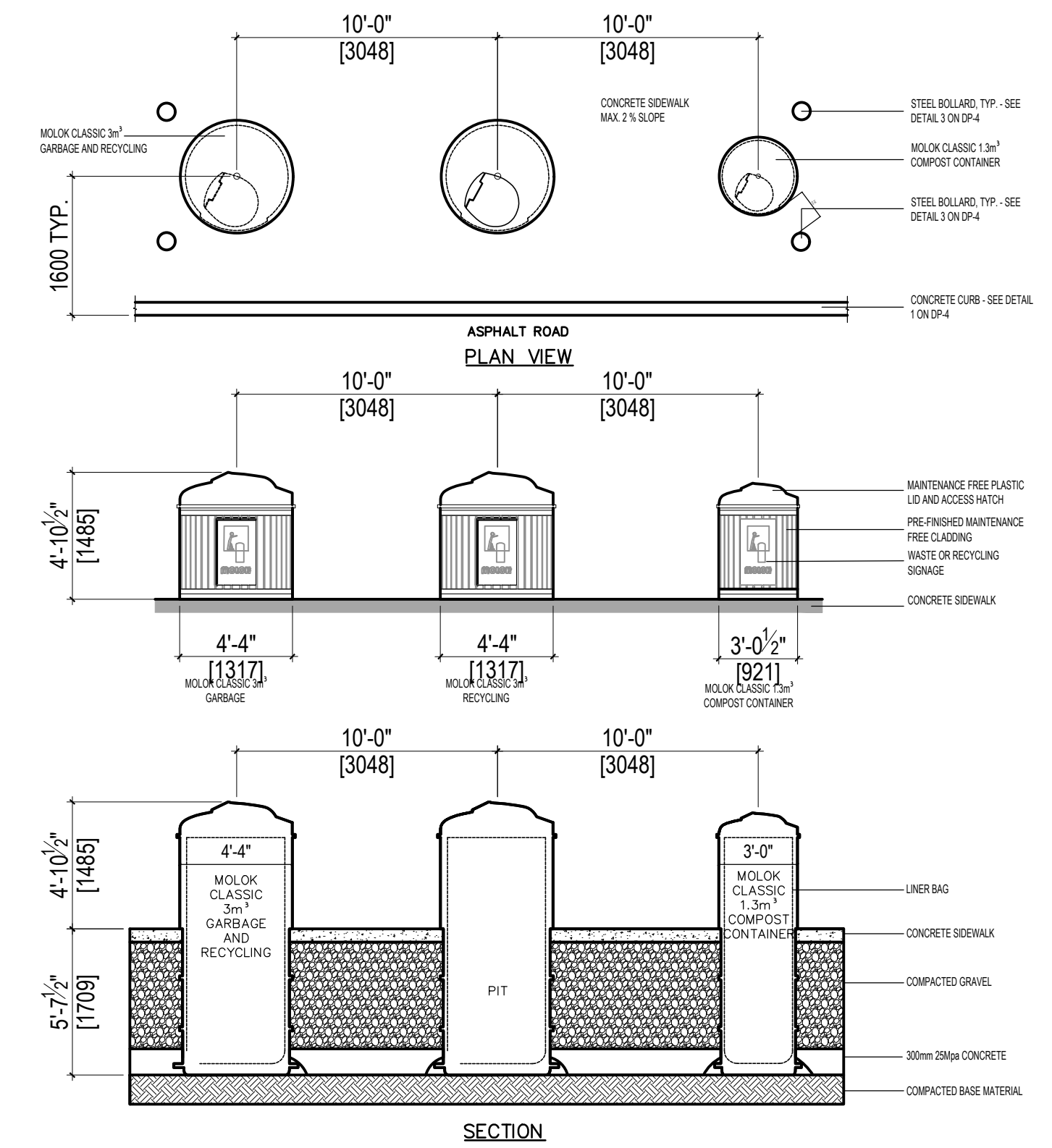
BICYCLE PARKING REQUIREMENT:	
CLASS 1: 1 STALL PER UNIT 5 UNIT	= 12 STALLS
TOTAL BICYCLE STALLS PROVIDED:	= 20 STALLS [CLASS 1]

AMENITY REQUIREMENTS:

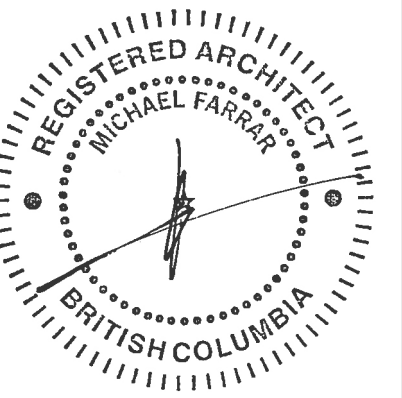
3 BED -	25 sq.m /UNIT	=1425 SQ.M
COMMON	4sq.m /UNIT	=228 SQ.M
AMENITY SPACE PROVIDED		
PRIVATE (ROOFTOP 289 SQ.FT X 57)		=1 539 SQ.M (16 473 SQ.FT)
COMMON		= 228 SQ.M (2 450 SQ.FT)
TOTAL PROVIDED		=1 768 SQ.M (18 923 SQ.FT)
TOTAL REQUIRED		=1 425 SQ.M (15 338 SQ.FT)



FORMED ALLIANCE ARCHITECTURE STUDIO



ARMED ALLIANCE ARCHITECTURE STUDIO

[illegible]

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS

675 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS

PLAN: KAP67003 LOT: 3

PROJECT NO.
24.045.ECC_BST

OPATH	CHECKED
GD	RB

DATE	SCALE
2025.02.14	AS NOTED

DRAWING TITLE

OFFENDING NUMBER:

DP.001

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



SHEET NOTES

N.01	WASTE AND RECYCLING AREA
N.02	PROPOSED TRANSFORMER LOCATION
N.03	COMMON AMENITY AREA
N.04	EXISTING TREES TO BE REMOVED
N.05	CLASS 1 BIKE RACKS
N.06	PROPOSED VISITOR PARKING
N.07	PROPOSED BARRIER-FREE PARKING STALLS
N.08	PROPOSED BARRIER-FREE PARKING STALLS (VAN)
N.09	PROPOSED CONCRETE CURB CUT
N.10	PROPOSED CONCRETE APRON
N.11	PROPOSED DRIVE AISLE
N.12	WATER METER BUILDING
N.13	EXISTING ANCHOR
N.14	RETAINING WALL / CURB. REFER TO CIVIL FOR THE HEIGHT AND EXTEND
N.15	PROPOSED WALKWAY

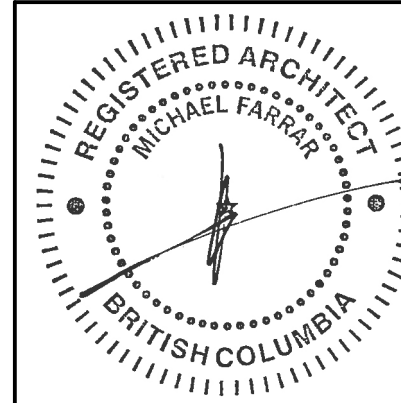
PRINCIPLE ENTRY

GENERAL NOTES

- ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED.
- REFER TO LANDSCAPE PLANS FOR ALL PLANTING, GROUND COVER, AND FENCING INFORMATION & DETAILS.
- REFER TO CIVIL DRAWINGS FOR GEODETIC ELEVATIONS AND GRADING, SERVICES, AND UTILITY RIGHTS OF WAY
- REFER TO CIVIL FOR UTILITIES
- ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE
- ALL ASPHALT TO BE HEAVY DUTY - DESIGNED TO SUPPORT 38,556 KG / 85,000 LBS AND THE NFPA 1901 POINT LOAD OF 517 KPa (75 PSI) OVER A 24" X 24" AREA CORRESPONDING TO OUT RIGGER PAD SIZE
- ALL CURBS TO BE ROLLED
- THE PROPERTY LINE INDICATES THE LIMIT OF CONSTRUCTION DISTURBANCE.
- GARAGE APRONS AND SIDE WALKS ARE TO BE COMBINED
- PROVIDE EMPTY CONDUIT (WITH PULL STRING) FROM THE SUITE ELECTRICAL PANEL TO THE ATTIC FOR FUTURE SOLAR PANELS. INCLUDE AN ALLOWANCE FOR THE DEAD LOAD OF SOLAR PANELS ON THE ROOF TRUSSES
- AN EMPTY CONDUIT SHALL BE PROVIDED FROM THE ELECTRICAL PANEL TO EACH GARAGE TO ACCOMMODATE A FUTURE EV CHARGING STATION CAPABLE OF 40 AMPS AT 240 VOLTS WITH THE ADDITION OF AN ENERGY MANAGEMENT SYSTEM

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO



RELEASES

NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

BLUESKY TOWNHOUSE

BRANCH ADDRESS
675 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS
PLAN: KAP87003 LOT: 3

PROJECT NO.
24.045.ECC.BST

DRAWN
GO

CHECKED
RB

DATE
2025.02.14

SCALE
AS NOTED

DRAWING TITLE
SITE PLAN

DRAWING NUMBER

DP.100

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[illegible]

PROJECT NAME:

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

PLAN: KAP87003 LOT: 3

PROJECT NO.
4.045.ECC_BST

RAIN	CHECKED
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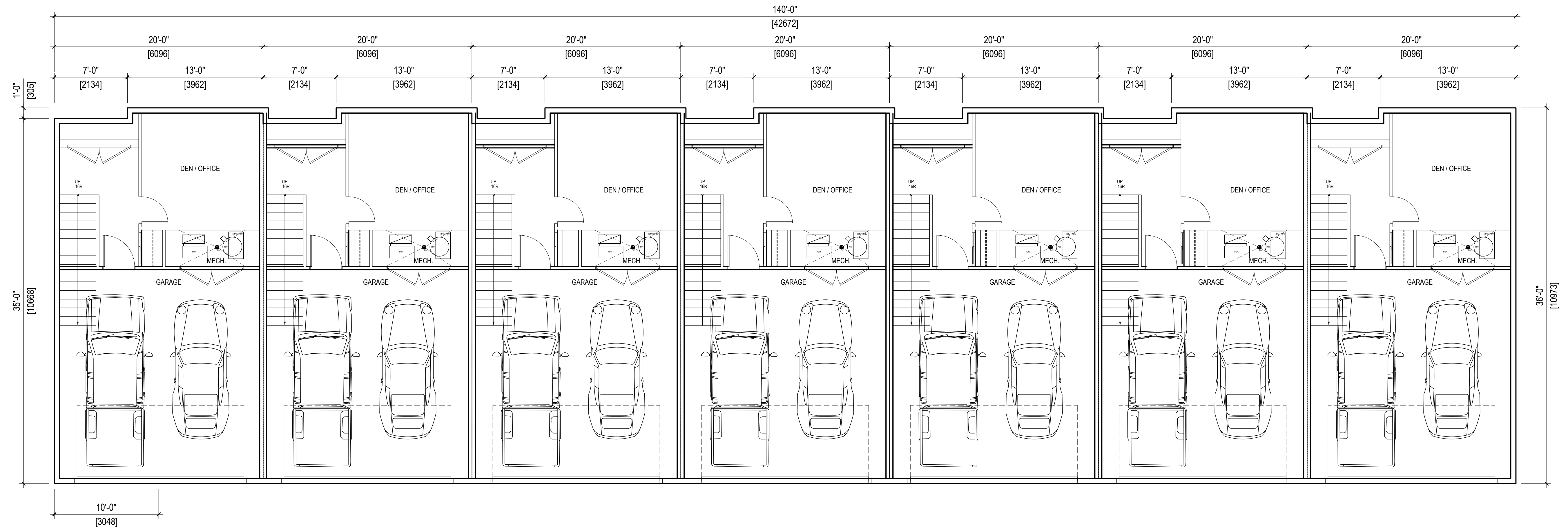
DATE	SCALE
025.02.14	AS NOTED

BUILDING 1 FLOORPLAN

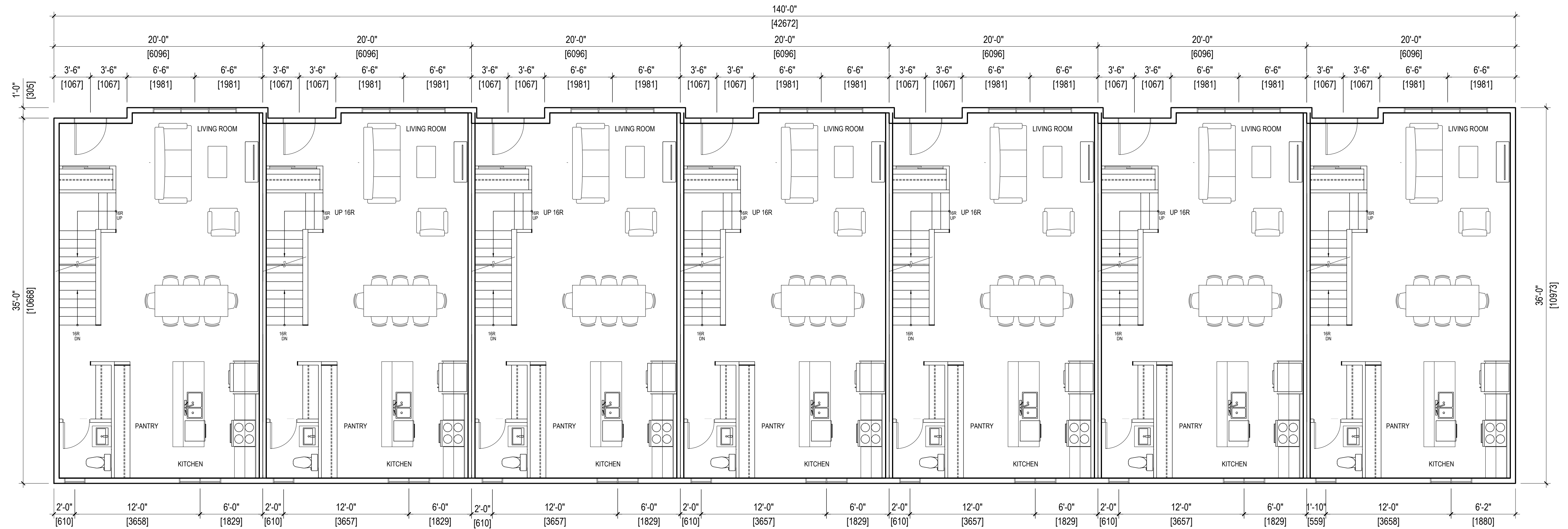
Journal Number:

DP.101

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1	MAIN FLOOR
DP.101	1/8" - 1'-0"



2	SECOND FLOOR
DP.101	1/8" - 1'-0"

[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

PRINCIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

LAN: KAP87003 LOT: 3

4.045.ECC.BST

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DATE	SCALE
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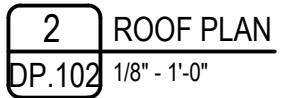
WORKING TITLE

BUILDING 1 - FLOORPLAN

Journal Manager

DP.102

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NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

PROJECT NAME:

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

PLANT: KAP87003 LOT: 3

PROJECT NO.
4.045.ECC_BST

RAIN	CHECKED
GO	RB

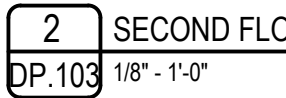
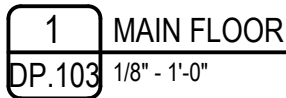
DATE	SCALE
025.02.14	AS NOTED

BUILDING 3 FLOORPLAN

Journal of Management Education 36(1)

DP.103

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[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

E-MAIL ADDRESS

LAN: KAP87003 LOT: 3

PROJECT NO. _____

4.045.ECC_BST

TRAIN	CHECKS
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DATE	SCALE
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025.02.14 AS NOTED

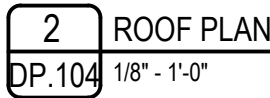
DRAWING TITLE

BUILDING 2 - FLOORPLAN

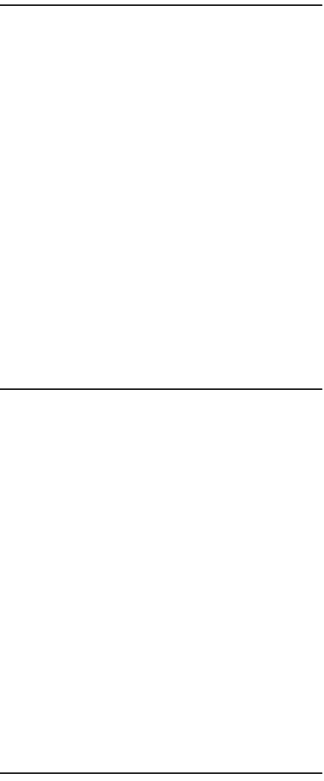
REVISED MANUSCRIPT

DP.104

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[illegible]

SUBJECT NAME: _____

BLUESKY TOWNHOUSE

PRINCIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

AN: KAP87003 LOT: 3

QUEST NO. _____

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25.02.14 AS NOTED

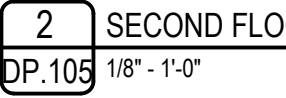
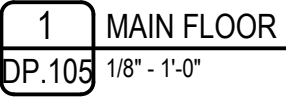
WORKING TITLE

BUILDING 3 - FLOORPLAN

KIND: Major

DP.105

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NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

SUBJECT NAME:

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

AN; KAP87003 LOT: 3

045.ECC_BST

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25.02.14 AS NOTED

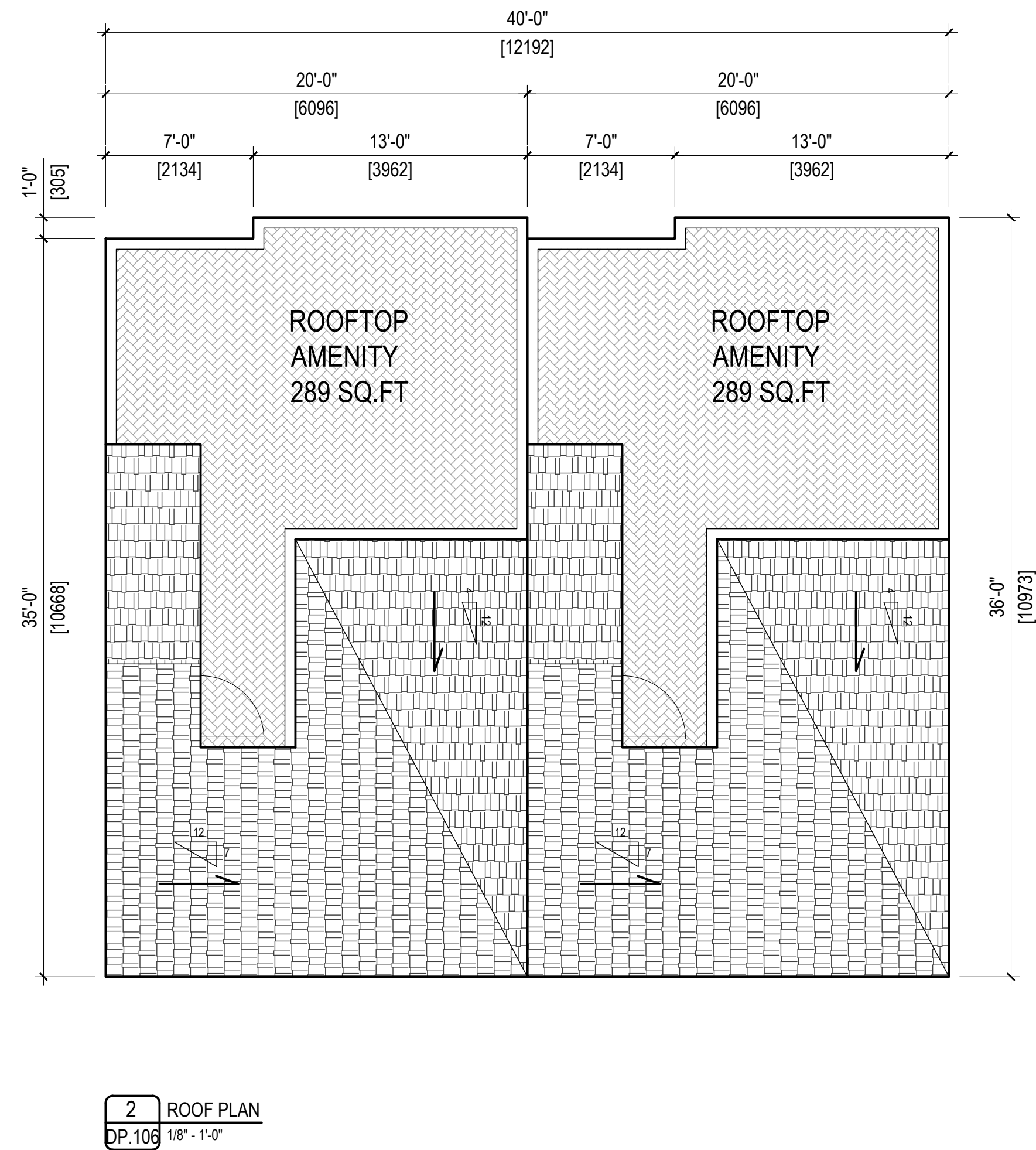
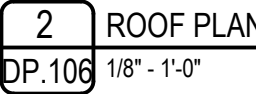
ENDING TITLE

BUILDING 3 - FLOORPLAN

YOUNG MURDER

DP.106

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SUBJECT NAME: _____

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

LAN; KAP87003 LOT; 3

PROJECT NO. 045.ECC_BST

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DATE	SCALE
025.02.14	AS NOTED

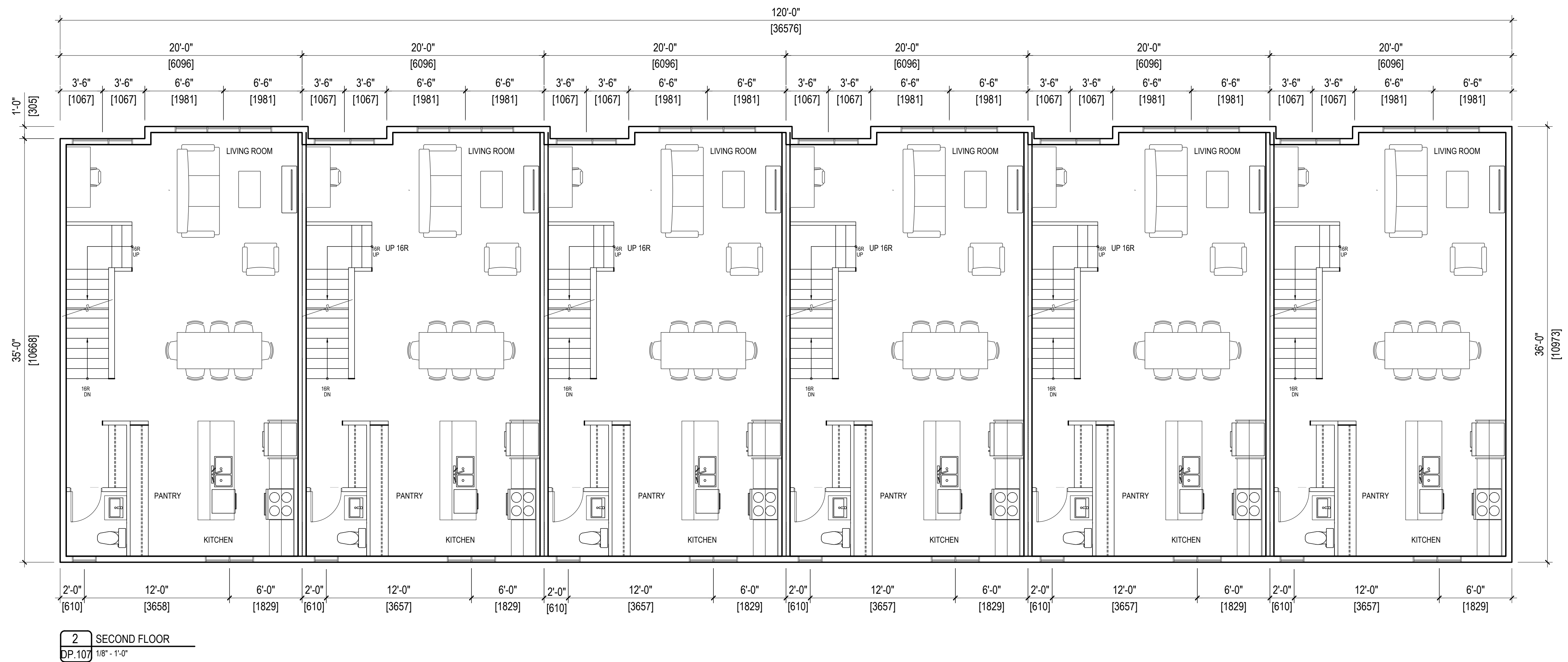
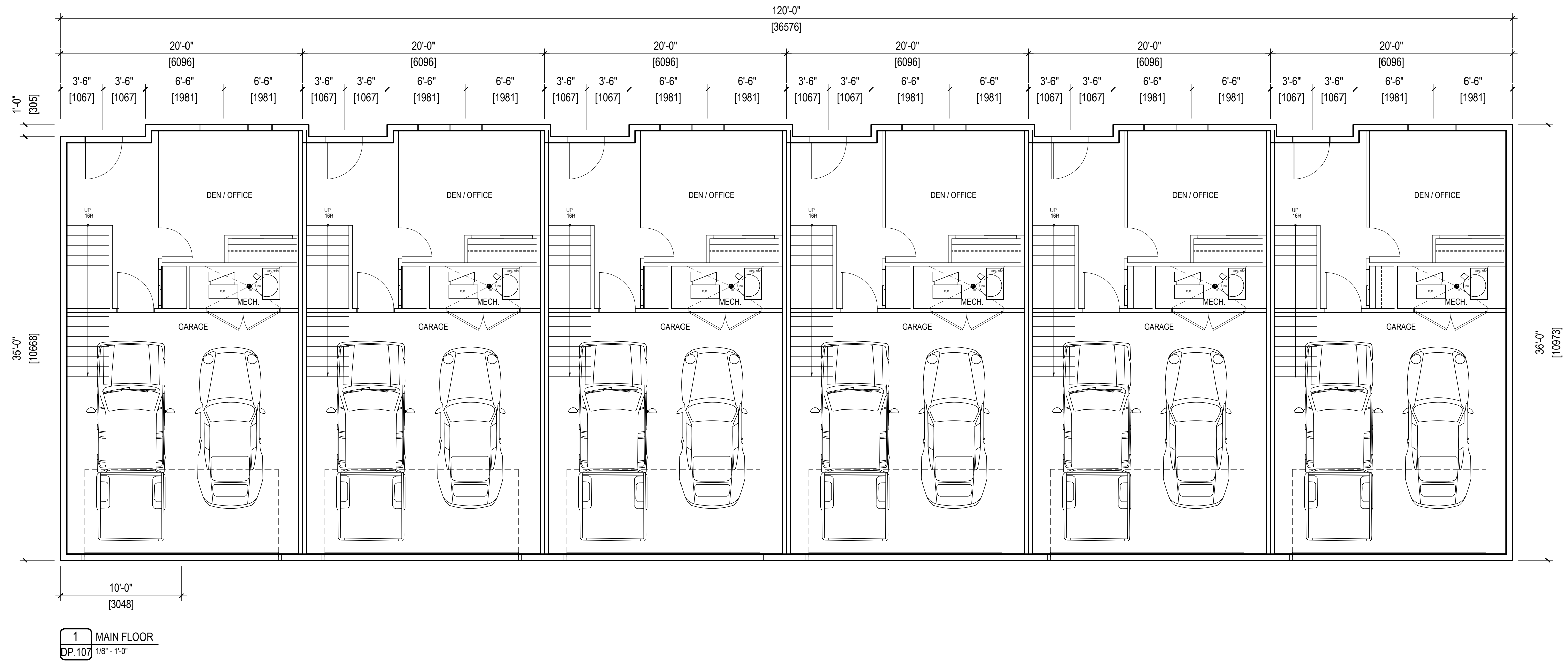
WORKING TITLE

BUILDING 4 - FLOORPLAN

KARIN M. MUELLER

DP.107

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CT NAME

LUESKY TOWNHOUSE

BLACK MOUNTAIN DR, KELOWNA, BC

ADDRESS
N; KAP87003 LOT; 3

45.ECC_BST

RB

5.02.14	SCALE AS NOTED
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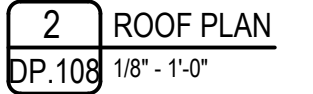
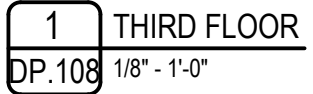
ENDING TITLE

BUILDING 4 - FLOORPLAN

De) M. 2006: 11.

DP.108

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[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS
575 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS

PLAN: KAP87003 LOT: 3

PROJECT NO. 24.045.ECC_BST

OFFMAN	CHECKED
GO	RB

DATE	SCALE
2025.02.14	AS NOTED

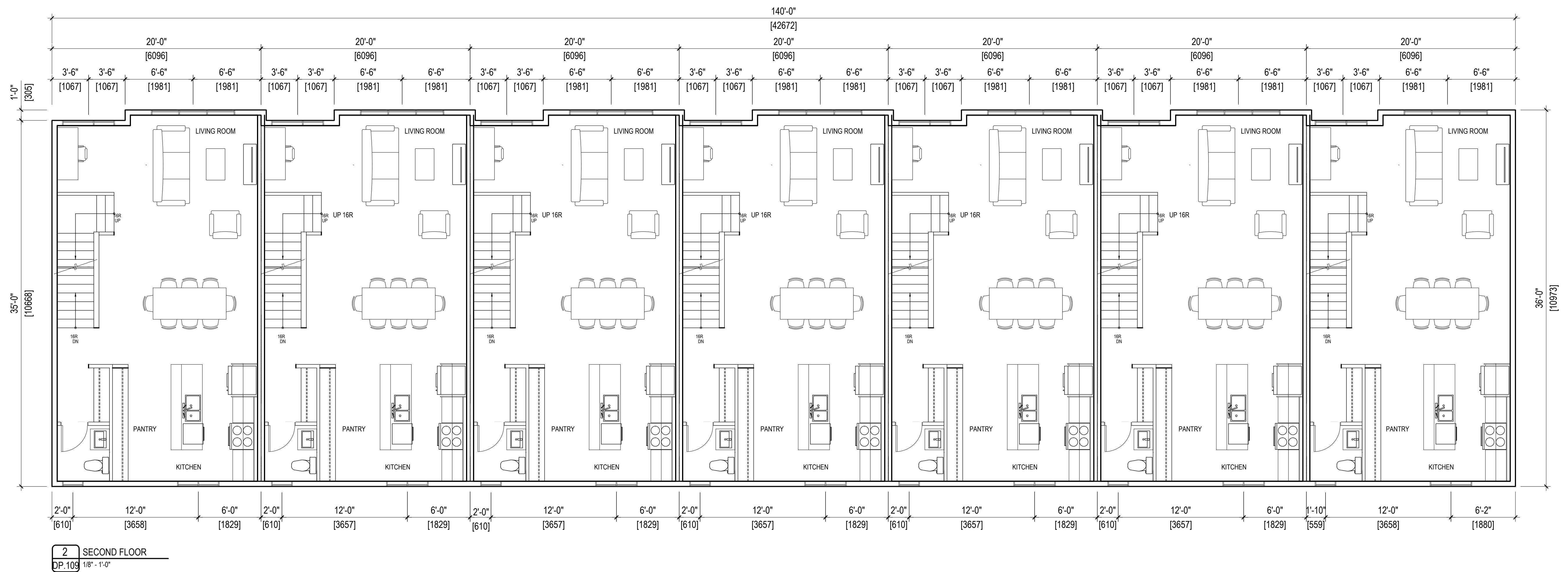
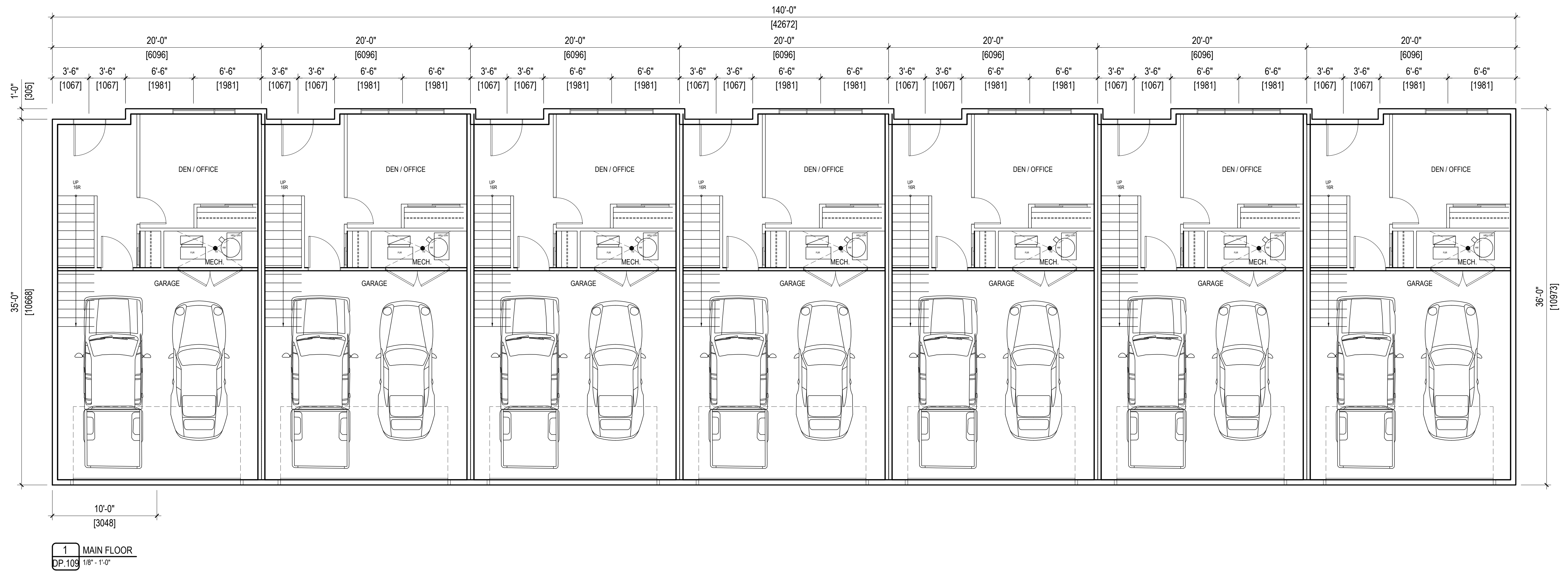
DRAWING TITLE

BUILDING 5 - FLOORPLAN

(Printed) NUMBER

DP.109

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[illegible]

PROJECT NAME:

BLUESKY TOWNHOUSE

CIPAL ADDRESS

6 BLACK MOUNTAIN DR, KELOWNA, BC

4. ADDRESS

AN: KAP87003 LOT: 3

EXCIT NO. _____

045.ECC_BST

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SCALE

15.02.14 AS NOTED

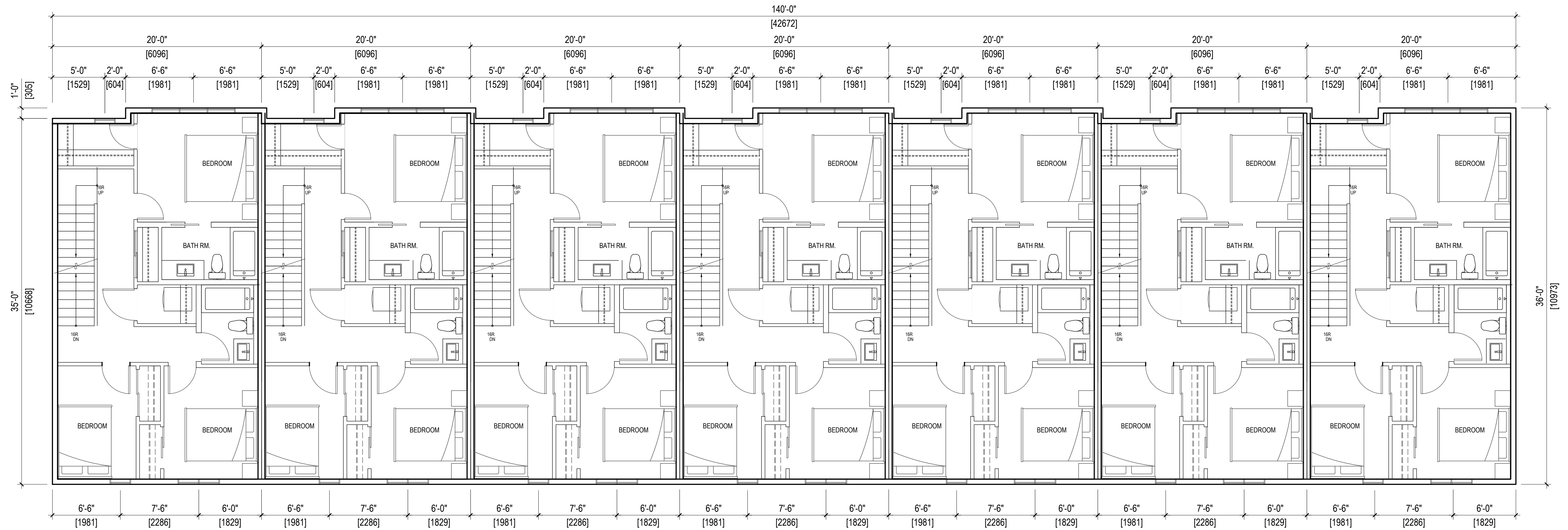
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III DING 5 - FLOORPLAN

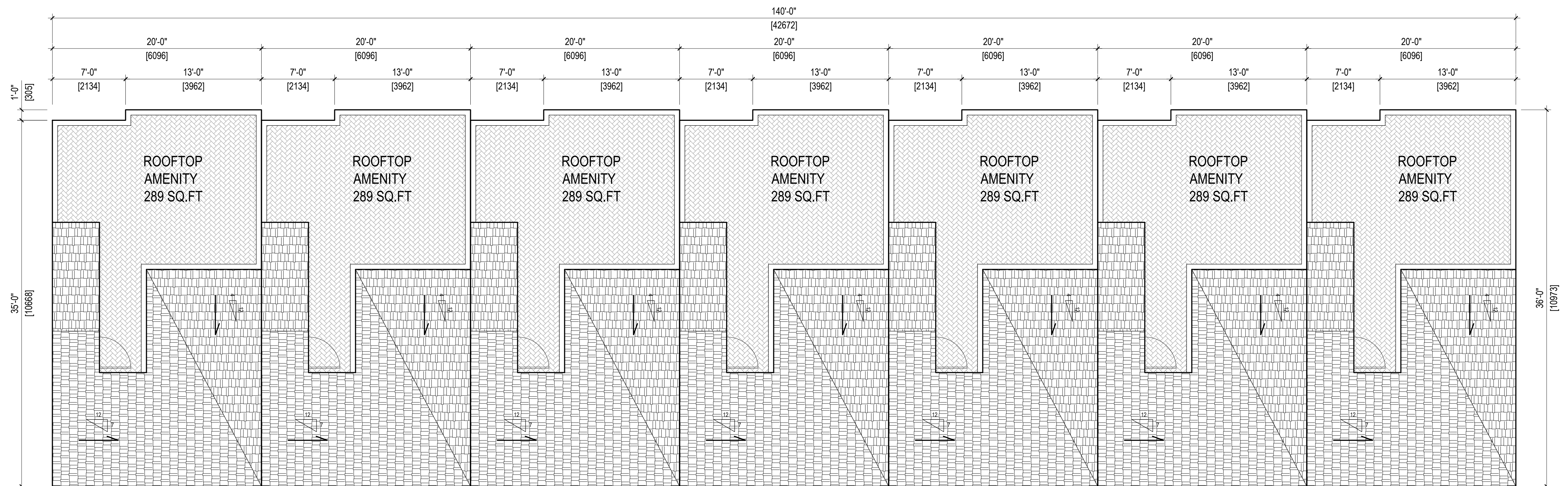
NAME NUMBER

DP.110

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1	THIRD FLOOR
DP.110	1/8" - 1'-0"



2	ROOF PLAN
DP.110	1/8" - 1'-0"

[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

EVAL ADDRESS

PROJECT NO.
4.045.ECC.BST

TRAIN	CHECKED
GO	RB

DATE	SCALE
025.02.14	AS NOTED

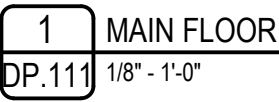
DRAWING TITLE

BUILDING 6 - FLOORPLAN

GRUNDIG MANGEL

DP.111

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[illegible]

SUBJECT NAME:

BLUESKY TOWNHOUSE

PRINCIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

AN: KAP87003 LOT: 3

SUBJECT NO. 045.ECC.BST

MAN	CHECKED
D	RB

DATE	SCALE
025.02.14	AS NOTED

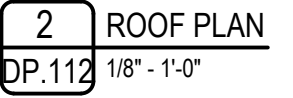
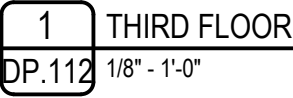
AWARD TITLE

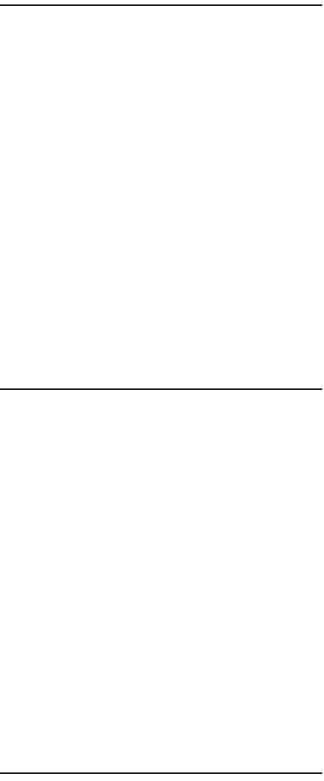
BUILDING 6 - FLOORPLAN

KIND: MISC R

DP.112

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[illegible]

SUBJECT NAME: _____

BLUESKY TOWNHOUSE

 PRINCIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

AN: KAP87003 LOT: 3

SUBJECT NO. _____

045.ECC_BST

FIN	CHECKED
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RB

	SCALE
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25.02.14 AS NOTED

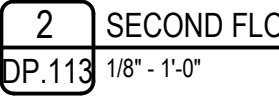
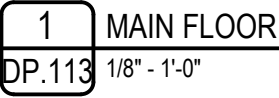
AWARD TITLE

BUILDING 7 - FLOORPLAN

KIND: MISC R

DP.113

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO
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AND MAY NOT BE USED OR REPRODUCED WITHOUT
WRITTEN CONSENT.



[illegible]

SUBJECT NAME _____

BLUESKY TOWNHOUSE

PRINCIPAL ADDRESS

5 BLACK MOUNTAIN DR, KELOWNA, BC

AN: KAP87003 LOT: 3

045.ECQ.BST

NAME	CHEN, Y
DOB	88

SCALE
AS NOTED

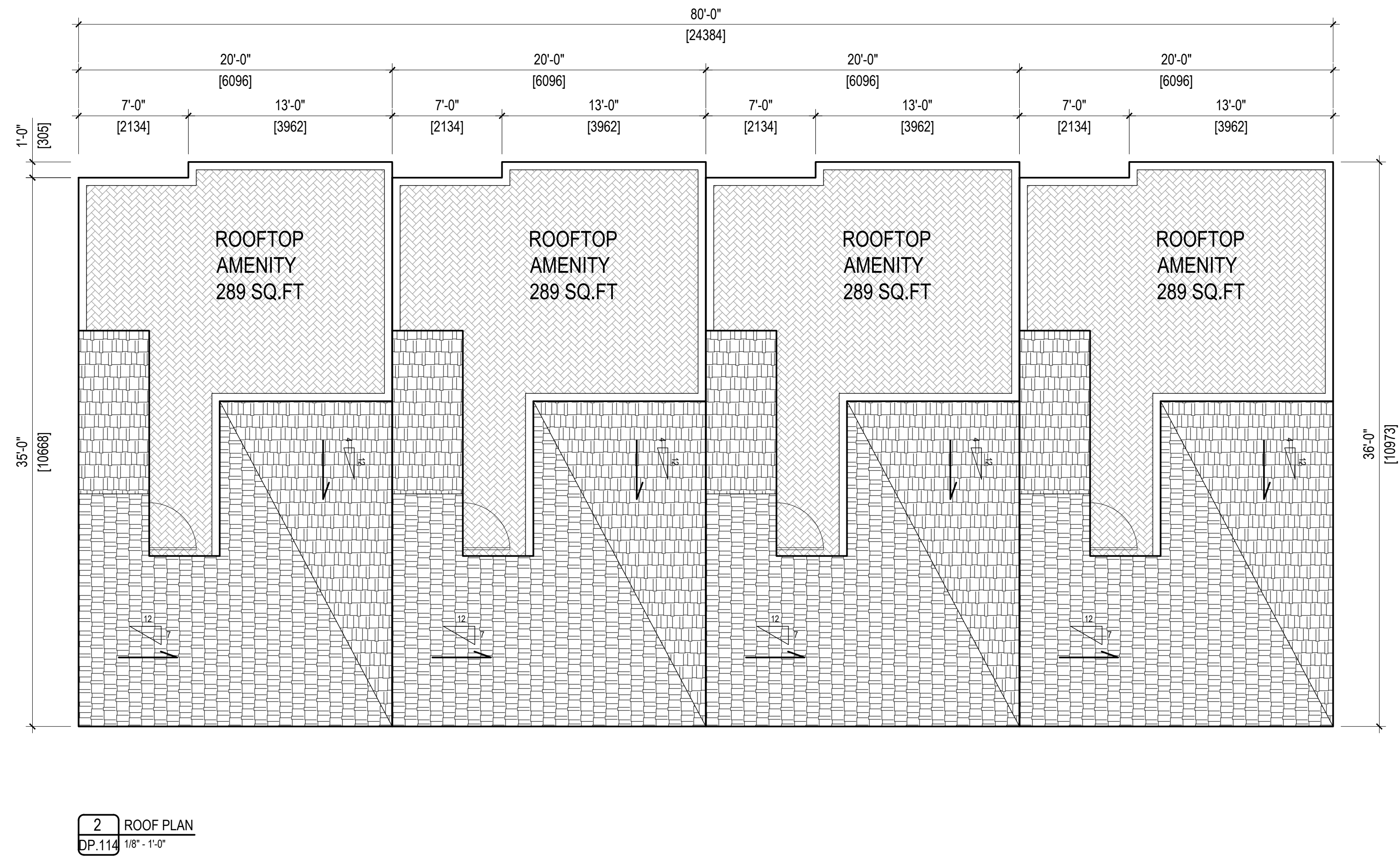
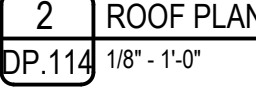
WORKING TITLE

BUILDING 7 - FLOORPLAN

NAME: _____

DP.114

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[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

LAN: KAP87003 LOT: 3

PROJECT NO.
14.045.ECC_BST

WWN	DECKED
GO	RB

DATE	SCALE
025.02.14	AS NOTED

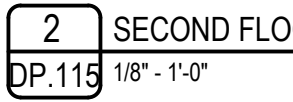
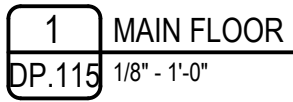
DRAWING TITLE

BUILDING 8 - FLOORPLAN

Country: _____

DP.115

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[illegible]

PROJECT NAME:

BLUESKY TOWNHOUSE

CIPAL ADDRESS

5 BLACK MOUNTAIN DR, KELOWNA, BC

4. ADDRESS

AN: KAP87003 LOT: 3

PROJECT NO. _____

045.EOC_BST

NAME	CHECKED
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RB

05.02.14 AS NOTED

WORKING FLOORPLAN

STUDY 2: EFFECTS OF A PERSONALITY-BASED INTERVENTION

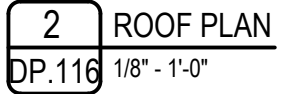
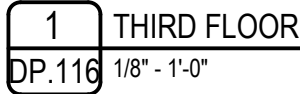
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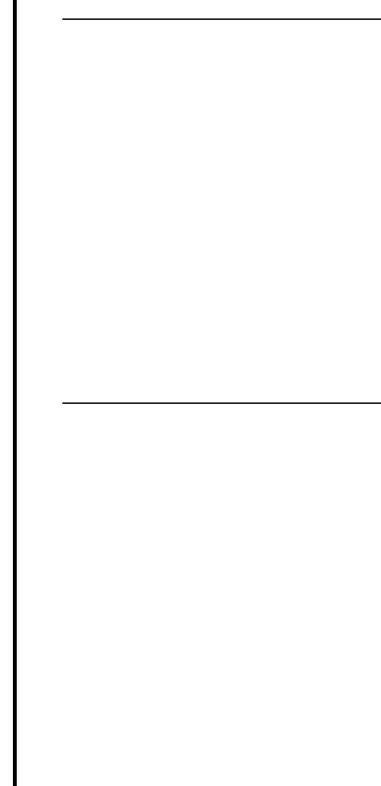
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THE LAURENCE J. CLARKE TRUST



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[illegible]

PROJECT NAME:

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS
675 BLACK MOUNTAIN DR. KELLYANA, BC

LEGAL ADDRESS

PROJECT NO.
24.045.ECC.BST

OWNER	CHECKED
GD	RB

DATE	SCALE
2025.02.14	AS NOTED

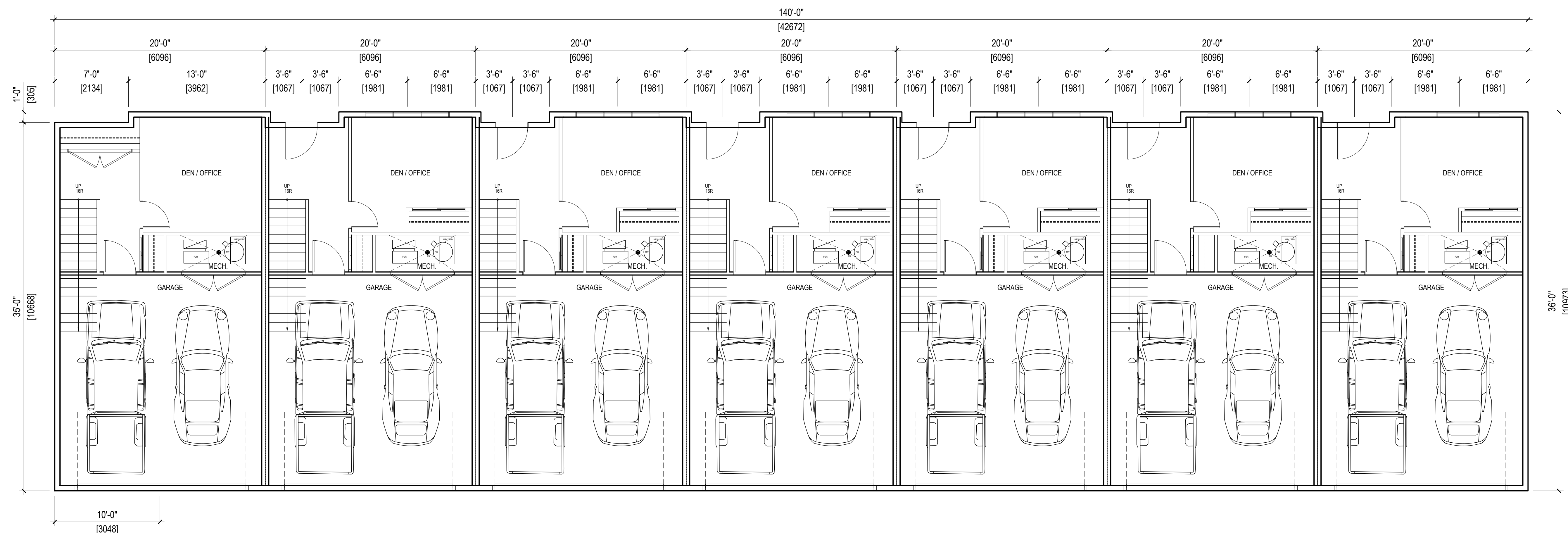
DRAWING TITLE

BUILDING 9 - FLOORPLA

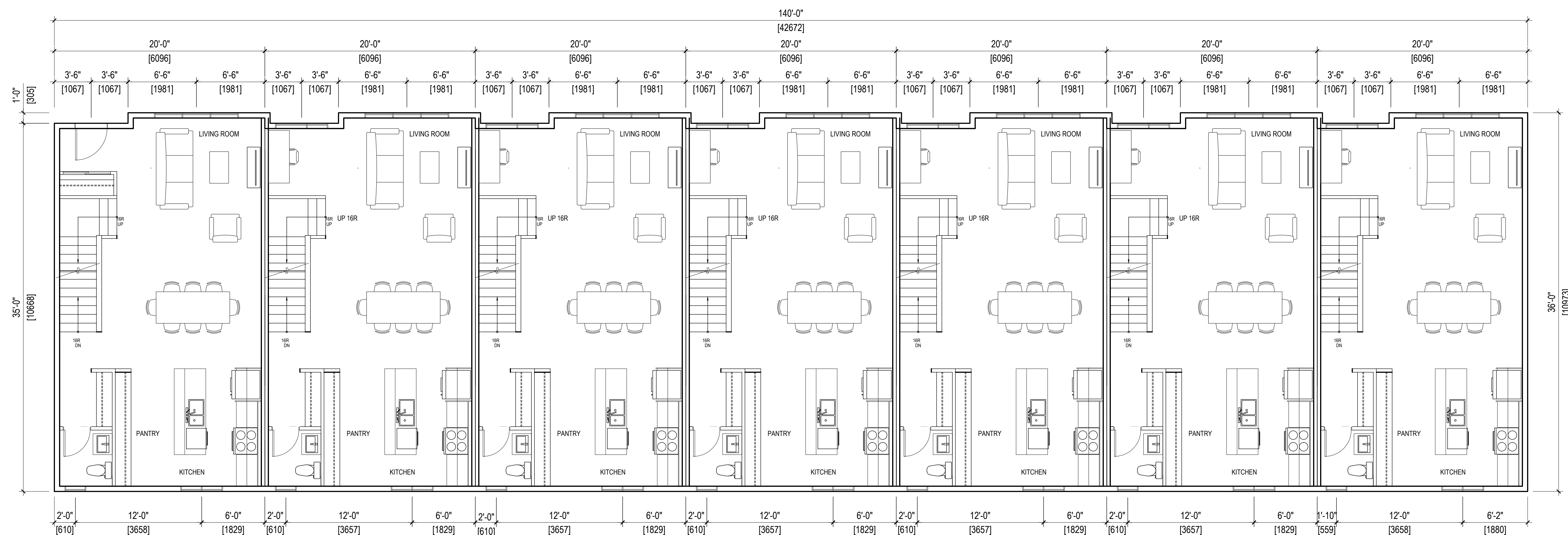
(PRINTING) NUMBER

DP.117

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1	MAIN FLOOR
DP.117	1/8" - 1'-0"



2	SECOND FLOOR
DP.117	1/8" - 1'-0"



NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

PROJECT NAME

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS: _____

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

LAN: KAP87003 LOT: 3

PROJECT NO. _____

4.045.EDC_BST

NAME	CHECKED
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60 RB

DATE _____ SCALE _____

025.02.14 AS NOTED

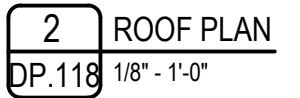
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BUILDING 9 - FLOORPLAN

Running) Number

DP.118

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[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

PLAN: KAP87003 LOT: 3

PROJECT NO.
4.045.ECC_BST

RAIN	CHECKED
GO	RB

DATE	SCALE
025.02.14	AS NOTED

DRAWING TITLE

BUILDING 10 -
FLOORPLAN

POUNCEY, MURDER

DP.119

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[illegible]

PROJECT NAME

BLUESKY TOWNHOUSE

MUNICIPAL ADDRESS

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

LAN: KAP87003 LOT: 3

PROJECT NO. _____

4.045.EOC_BST

NAME	CHECKED
GO	RB

DATE	SCALE
025.02.14	AS NOTED

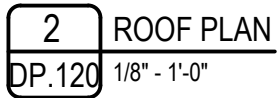
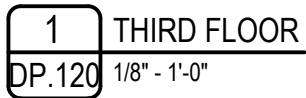
DRAWING TITLE

BUILDING 10 -
FLOORPLAN

GRUNDIG MANGEL

DP.120

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NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

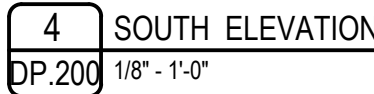
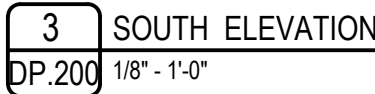
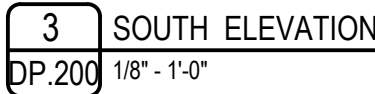
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WIN	CHECKED
D	RB

DATE	SCALE
025.02.14	AS NOTED

WORKING TITLE

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A - CEMENTITIOUS SIDING

- ### B - METAL

- ### C - MASONRY

- ## D - ROOFING

- E1 PARGIN
- E2 CONCR

F - FENESTRATION

- F1 METAL CLAD WINDOW FRAME;
COLOUR: GREY
- F2 EXTERIOR DOOR;
COLOUR: BRIGHT ORANGE
- F3 GARAGE DOOR;
COLOUR: GREY

[illegible]

PROJECT NAME:

675 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS

PLAN: KAP87003 LOT: 3

PROJECT NO.

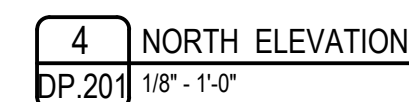
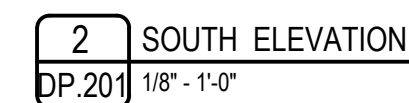
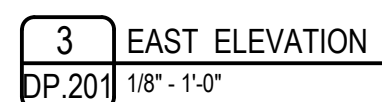
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OPINION	CHECKED
1.00	1.00

DATE	SCALE
2025.02.14	AS NOTED

ORGANIZING TITLE

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A - CEMENTITIOUS SIDING

- | | |
|----|---|
| A1 | HORIZONTAL FIBER CEMENT
4" LAPSIDING;
COLOUR: ARCTIC WHITE |
| A2 | HORIZONTAL FIBER CEMENT
4" LAPSIDING;
COLOUR: MIDNIGHT BLACK |
| A3 | VERTICAL FIBER CEMENT
BOARD AND BATTEN AT 12";
COLOUR: ARCTIC WHITE |
| A4 | VERTICAL FIBER CEMENT
BOARD AND BATTEN AT 12";
COLOUR: MIDNIGHT BLACK |
| A5 | FIBER CEMENT PANEL;
COLOUR: LIGHT GREY |
| A6 | FIBER CEMENT PANEL;
COLOUR: DARK GREY |
| A7 | 4"TRIM BOARD
COLOUR: LIGHT GREY |
| A8 | 4"TRIM BOARD
COLOUR: MIDNIGHT BLACK |

81 PREFINISH METAL CAP FLASHING
COLOUR: LIGHT GREY

- 82 PREFINISH METAL CAP FLASHING
COLOUR: BLACK
- 83 METAL GUARDRAIL;
COLOUR: GREY

C1 BRICK VANEER;
COLOUR: WHITE

- C2** **BRICK VANEER;
COLOUR: BLACK**

D1 ASHPALT SHINGLES
COLOUR: GREY

- E - CONCRETE**
- | | |
|----|----------|
| E1 | PARGING |
| E2 | CONCRETE |

F1 METAL CLAD WINDOW FRAME,
COLOUR: GREY

- F2 EXTERIOR DOOR;
COLOUR: BRIGHT ORANGE
- F3 GARAGE DOOR;
COLOUR: GREY

Running Number:

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F3 GARAGE DOOR;
COLOUR: GREY

[illegible]

575 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS

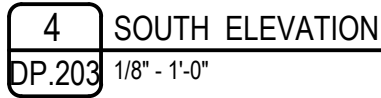
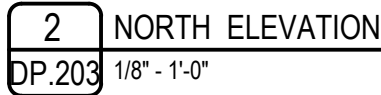
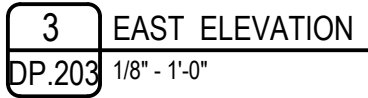
PROJECT NO.
24.045.ECC_BST

OFFMAN CHECKED
GO RB

DATE	SCALE
2025.02.14	AS NOTED

DRAWING TITLE

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A - CEMENTITIOUS SIDING

- ### B - METAL

- ### C - MASONRY

- ## D - ROOFING

- ### E - CONCRETE

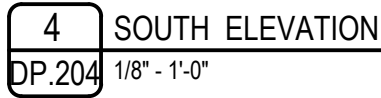
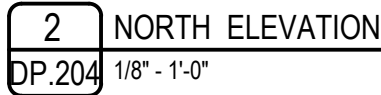
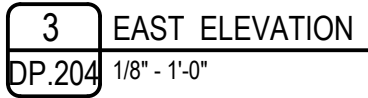
- ## F - FENESTRATION

- | | |
|----|--|
| F1 | METAL CLAD WINDOW FRAME;
COLOUR: GREY |
| F2 | EXTERIOR DOOR;
COLOUR: BRIGHT ORANGE |
| F3 | GARAGE DOOR;
COLOUR: GREY |

[illegible]

KAM OREGON

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A - CEMENTITIOUS SIDING

- ### B - METAL

- ### C - MASONRY

- ## D - ROOFING

- ### E - CONCRETE

- ## F - FENESTRATION

- | | |
|----|--|
| F1 | METAL CLAD WINDOW FRAME;
COLOUR: GREY |
| F2 | EXTERIOR DOOR;
COLOUR: BRIGHT ORANGE |
| F3 | GARAGE DOOR;
COLOUR: GREY |

[illegible]

675 BLACK MOUNTAIN DR, KELOWNA, BC

LEGAL ADDRESS

24.045.ECC_BST

CO RR

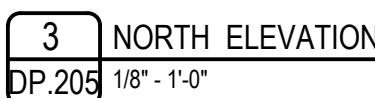
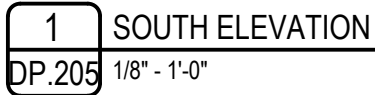
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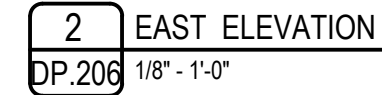
2023.02.14 AS NOTED

BUILDING C

ELEVATIONS

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A - CEMENTITIOUS SIDING

- B - METAL**

- ### C - MASONRY

- ## D - ROOFING

- ## F - FENESTRATION

- RELEASES

BLUESKY TOWNHOUSE

75 BLACK MOUNTAIN DR, KELOWNA, BC

LAN: KAP87003 LOT: 3

PROJECT NO. 045.ECC_BST

NAME	CHECKED
D	RB

DATE	SCALE
025.02.14	AS NOTED

WORKING TITLE

BUILDING 7 - ELEVATIONS

Running: 10/10/2016

DP.206

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NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

5 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

SUBJECT NO. 045.ECC.BST

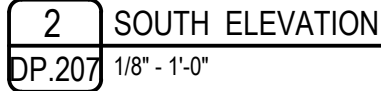
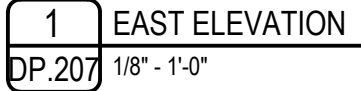
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DATE	SCALE
025.02.14	AS NOTED

AWARD TITLE

KATHLEEN M. MURPHY

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[illegible]

75 BLACK MOUNTAIN DR, KELOWNA, BC

MAIL ADDRESS

SUBJECT NO. 045.ECC_BST

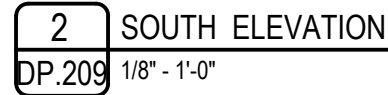
WIN	CHECKED
D	RB

DATE	SCALE
025.02.14	AS NOTED

WORKING TITLE

KATHLEEN M. MURPHY

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 AND MAY NOT BE USED OR REPRODUCED WITHOUT
 HIS WRITTEN CONSENT.



A - CEMENTITIOUS SIDING

- ### B - METAL

- ### C - MASONRY

- ## D - ROOFING

- ## F - FENESTRATION

- | | |
|----|--|
| F1 | METAL CLAD WINDOW FRAME;
COLOUR: GREY |
| F2 | EXTERIOR DOOR;
COLOUR: BRIGHT ORANGE |
| F3 | GARAGE DOOR;
COLOUR: GREY |



NO.	DESCRIPTION	DATE
01	DP SET	14.02.2025

75 BLACK MOUNTAIN DR, KELOWNA, BC

LAN: KAP67003 LOT: 3

SUBJECT NO. 045.ECC_BST

WIN	CHECKED
D	RB

DATE	SCALE
025.02.14	AS NOTED

STREETSCAPE

KATONG, M. J. 1983.

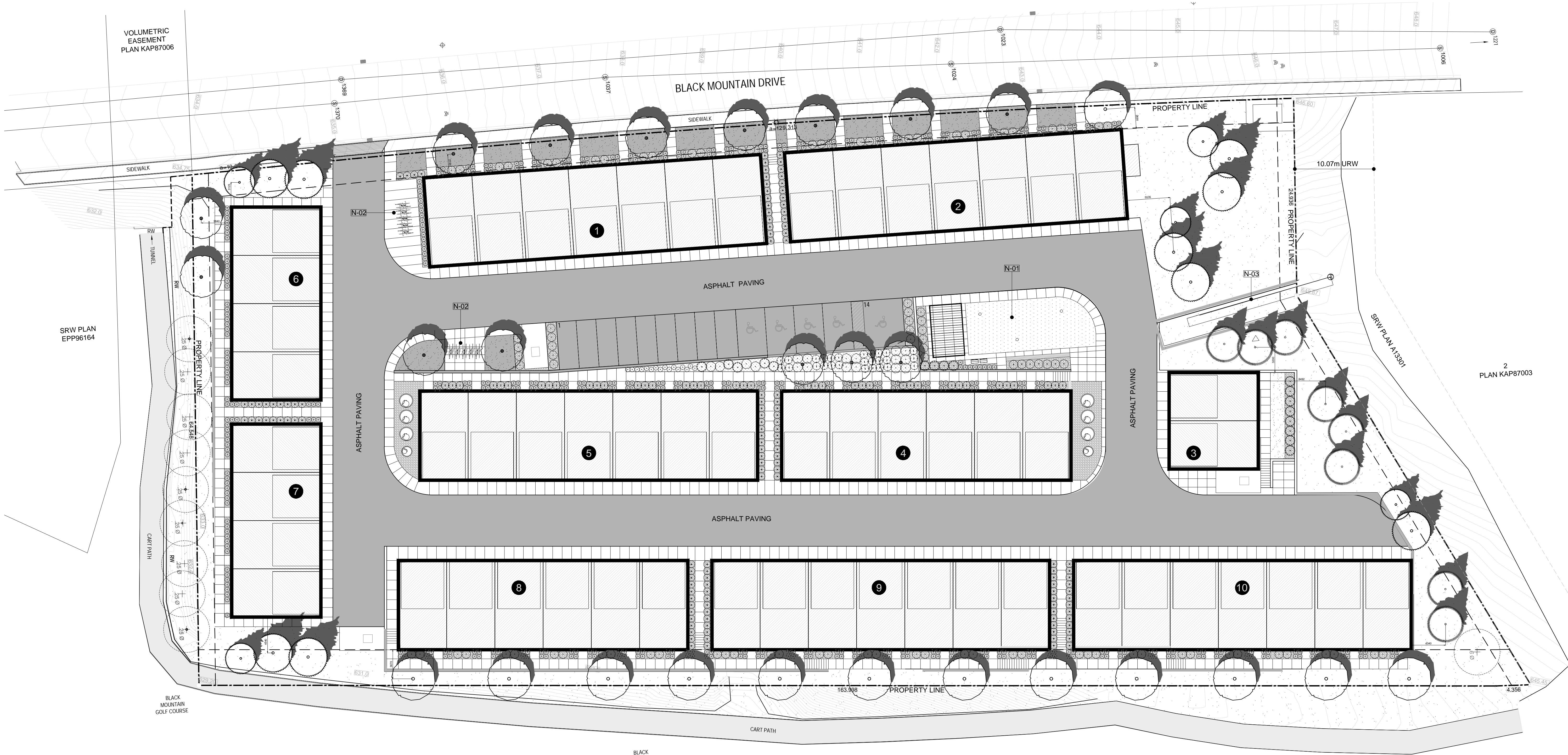
STREETSCAPE

KATONG, M. J. 1983.

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1 LANDSCAPE PLAN
DP.100 1:250

MUNICIPAL ADDRESS

675 BLACK MOUNTAIN DRIVE

LEGAL ADDRESS

LOT 03 SECTION 19 TOWNSHIP 27
OSOYOOS DIVISION YALE DISTRICT PLAN
KAP87 003

PROJECT DATA

ZONING: MF3 - MEDIUM DENSITY MULTIPLE HOUSING

ZONING BYLAW 12375: SECTION 7.2 LANDSCAPING STANDARDS
1 tree/101m of landscape area

SITE AREA: 10512.00 m2

Zoning Bylaw No. 12375 - 7.2 BYLAW REVIEW

STANDARD REQUIREMENTS

LANDSCAPE AREA PROVIDED
(1 tree / 10 1m of landscape area)

4911m

TOTAL TREES REQUIRED
(1/101m of TOTAL LANDSCAPE AREA PROVIDED)

49

TOTAL TREES PROVIDED

49

MINIMUM SOFT LANDSCAPING AREAS
REFER TO TABLE ON DP.101

MINIMUM SOIL VOLUME CALCULATIONS
REFER TO TABLE ON DP.101

AREA SPECIFIC REQUIREMENTS

NOT APPLICABLE

UNIVERSAL LANDSCAPE REQUIREMENTS

14 PARKING STALLS PROVIDED / LANDSCAPE REQUIREMENTS N/A
TREE SPACING BASED ON REQUIRED TREES / SOIL VOLUME
MINIMUM SETBACKS FROM BUILDINGS DIMENSIONED ON PLAN
MINIMUM SETBACKS FROM BUILDINGS DIMENSIONED ON PLAN
REFER TO PLANT LEGEND FOR DECIDUOUS / CONIFEROUS TREE SIZES
REFER TO PLANT LEGEND FOR TREE RATIO

GENERAL NOTES

ALL REQUIRED LANDSCAPE AREAS AND INSTALLATIONS INCLUDING IRRIGATION REQUIREMENTS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS (CLS) AS JOINTLY PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND THE CANADIAN NURSERY LANDSCAPE ASSOCIATION. ALL REQUIRED LANDSCAPE AREAS AND INSTALLATIONS SHALL BE REGULARLY MAINTAINED BY PROPERTY OWNERS TO MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.

a. The landscape maintenance requirements shall address/provide for the following items regarding plant material: watering, fertilizing, liming, mowing, trimming, edging, aeration and repairs (re-grading, re-seeding or re-sodding) as well as weed, insect and disease control.

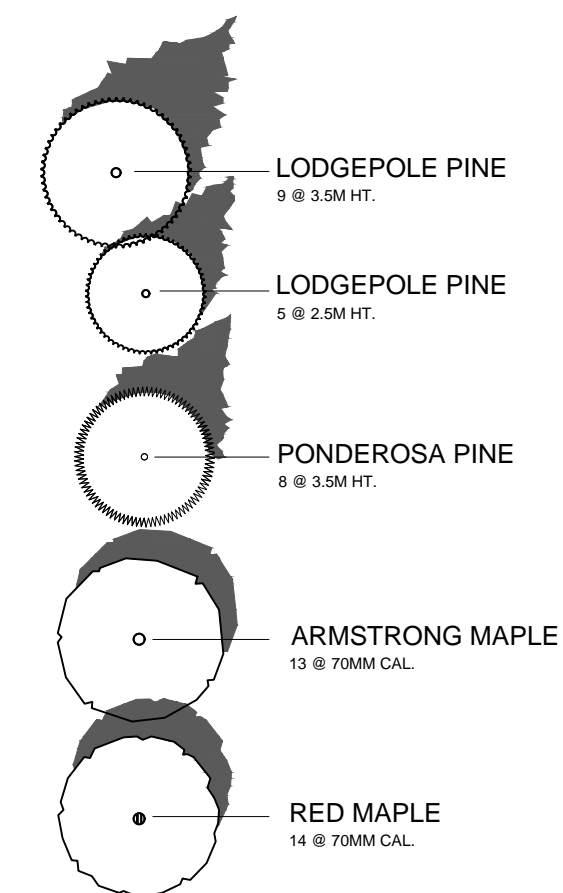
b. The landscape maintenance requirements shall address/provide for the following items regarding lawn and grass areas: watering, fertilizing, liming, mowing, trimming, edging, aeration and repairs (re-grading, re-seeding or re-sodding) as well as weed, insect and disease control.

c. The execution of the above mentioned landscape maintenance requirements shall take place on a regular basis as to ensure a healthy, neat, and orderly appearance throughout the year.

LANDSCAPING WITHIN THE LANDSCAPE AREAS SHALL FOLLOW THE REGULATIONS WITHIN TABLE 7.2 OF THE CITY OF KELOWNA BYLAW 12375 TO PROVIDE FOR THE MASKING AND SEPARATING OF VARIOUS LAND USES. ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF KELOWNA SPECIFICATIONS OR AS NOTED ON THE DRAWINGS. ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES. ALL PLANT MATERIAL SHALL BE LOCALLY GROWN BRITISH COLUMBIA NURSERY STOCK.

PLANT MATERIAL LEGEND

TREES - 49 TOTAL
MIN DECIDUOUS TREE SIZE - 50CAL
MIN CONIFEROUS TREE SIZE - 2.5M
50% LARGE REQUIRED: 25
50% LARGE PROVIDED: 44



SHRUBS - 314 TOTAL

- 17 MEDORA UPRIGHT JUNIPER
- 18 HORIZONTAL JUNIPER
- 07 URAL FALSE SPIREA
- 66 ARCTIC FIRE DOGWOOD
- 90 OREGAN GRAPE
- 126 ALPINE CURRANT
- 501 KARL FOERSTER ORNAMENTAL GRASS

SURFACING LEGEND

- NATURALIZED SEED AREA
SEED ON 150MM DEPTH TOPSOIL
- SOD AREAS
LESS WATER SOD ON 150MM DEPTH TOPSOIL
- SYNTHETIC TURF
- CONCRETE PAVING
LIGHT BROOM FINISH w/ CALIFORNIA HAND TROWELED JOINTS
- ROCK MULCH
BLAST ROCK - 100MM-200MM DIA.
- SHREDDED WOOD BARK MULCH
- ASPHALT PAVING - REFER TO CIVIL / ARCHITECTURAL

FEATURE LEGEND

- N-01 AMENITY AREA W/ PERGOLA, SYNTHETIC TURF PLAY / PUTTING GREEN + BBQ GRILLES 227.33M2
- N-02 TYPICAL BICYCLE PLAZA
- N-03 EXISTING GUY WIRE

REFERENCES

REFER TO CIVIL FOR GRADING PLAN + RETAINING WALL HEIGHTS
REFER TO ARCHITECTURAL SITE PLAN FOR AMENITY SPACE DATA AND DIMENSIONS

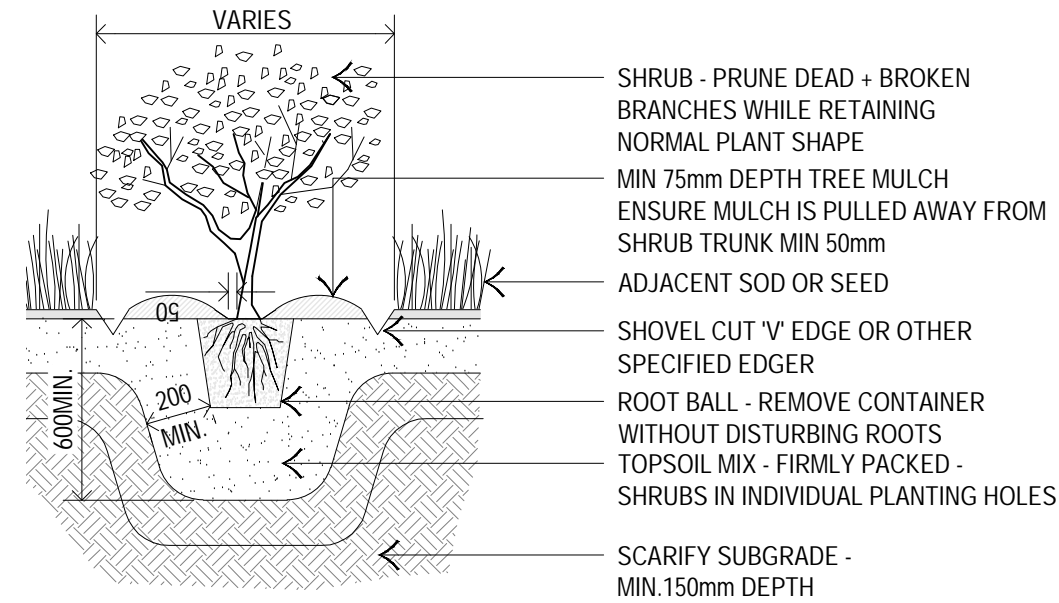
IRRIGATION AND WATER CONSERVATION

IRRIGATION WILL BE DESIGN BUILD AND ADHERE TO THE CANADIAN IRRIGATION ASSOCIATION STANDARDS.

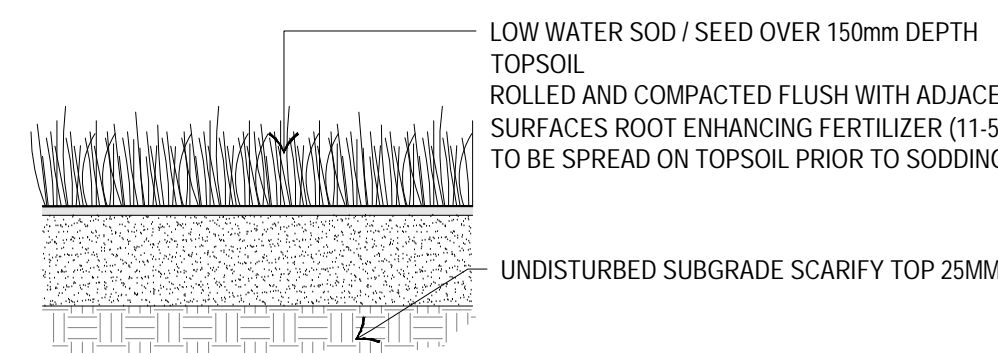
THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND HIGH EFFICIENCY DRIP SYSTEM LIMITED TO TREES AND SHRUBS ONLY.

NATURALIZED TURF AREAS WILL BE IRRIGATED WITH A TEMPORARY SYSTEM FOR ESTABLISHMENT ONLY.

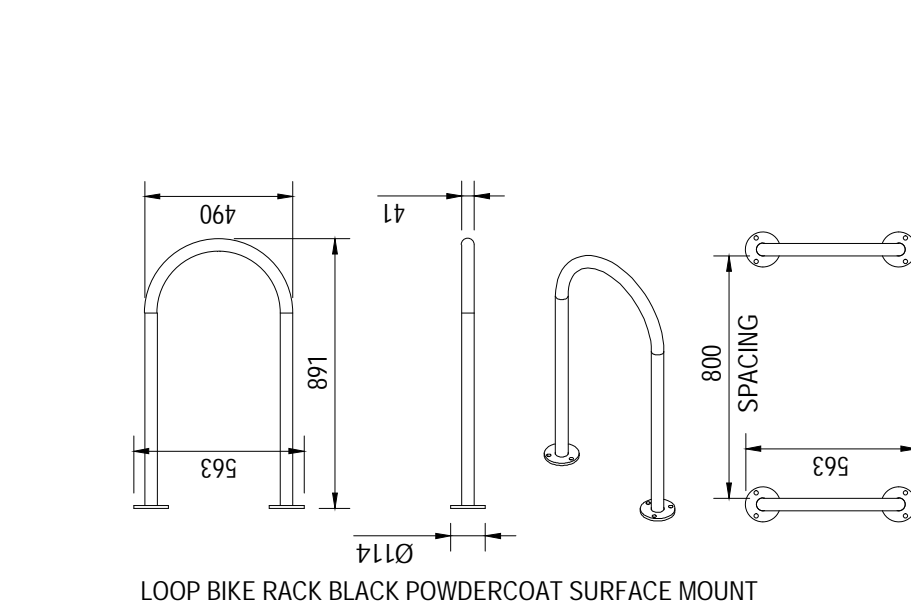
LESS WATER SOD WILL BE UTILIZED FOR MANICURED TURF AREAS.



2 TYPICAL SHRUB PLANTING DETAIL
DP.100 1:25



4 TYPICAL TURF DETAIL
DP.100 1:25



3 TYPICAL BICYCLE RACK
DP.100 1:25

[SMM]

Seal

RELEASES

NO	DESCRIPTION	DATE
01	ISSUED FOR DP	2025.08.07

PROJECT NAME

BLUE SKY KELOWNA

MARCH/ADDRESS

675 BLACK MOUNTAIN DRIVE, KELOWNA, BC

LEGAL ADDRESS

LOT: 3 SECTION: 19 TOWNSHIP: 27 P: KAP87003

PROJECT NO

23.26 ECC_BSC

DRAWN

SK

CHECKED

RB

DATE

2023.06.30

SCALE

AS NOTED

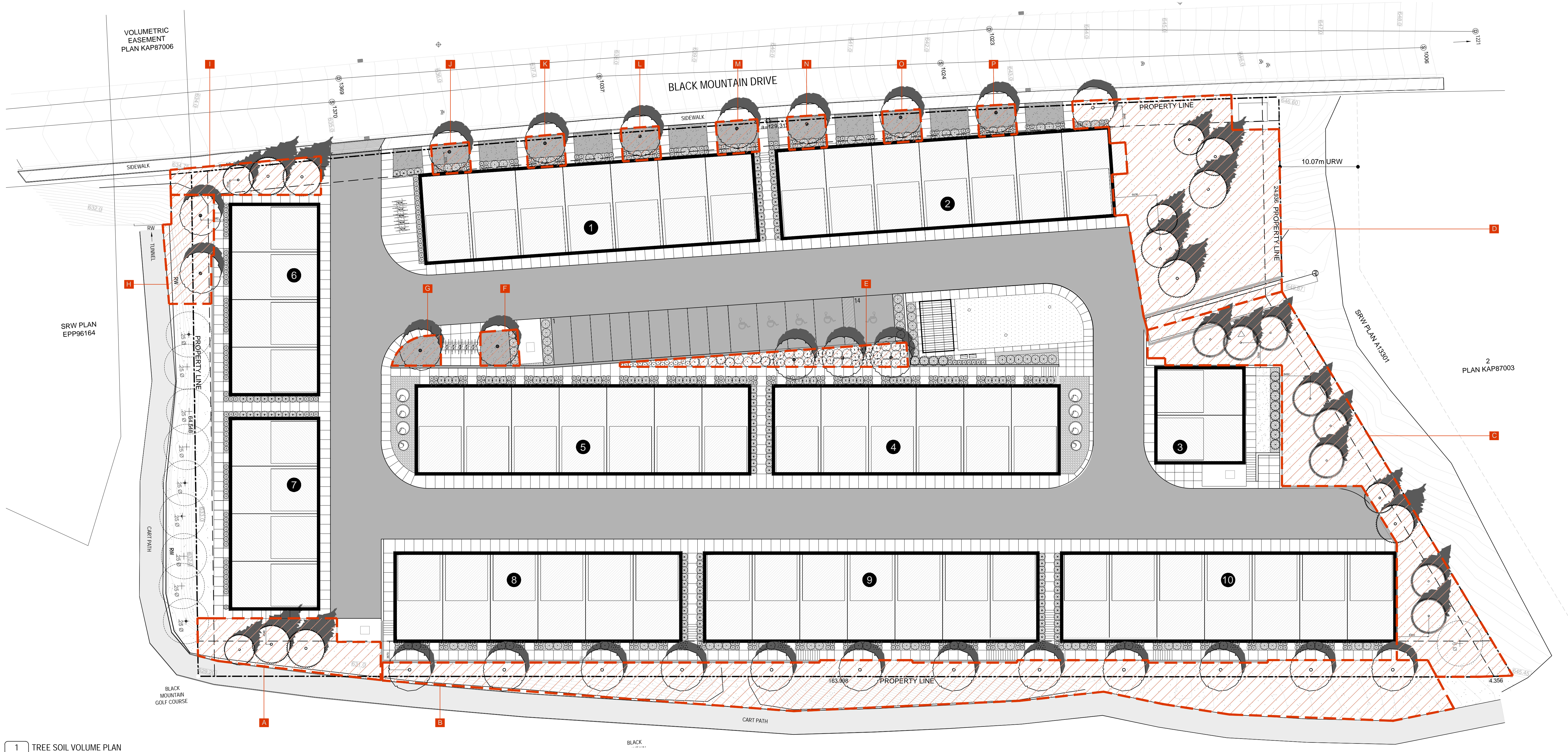
DRAWING TITLE

LANDSCAPE PLAN

DRAWING NUMBER

DP.100

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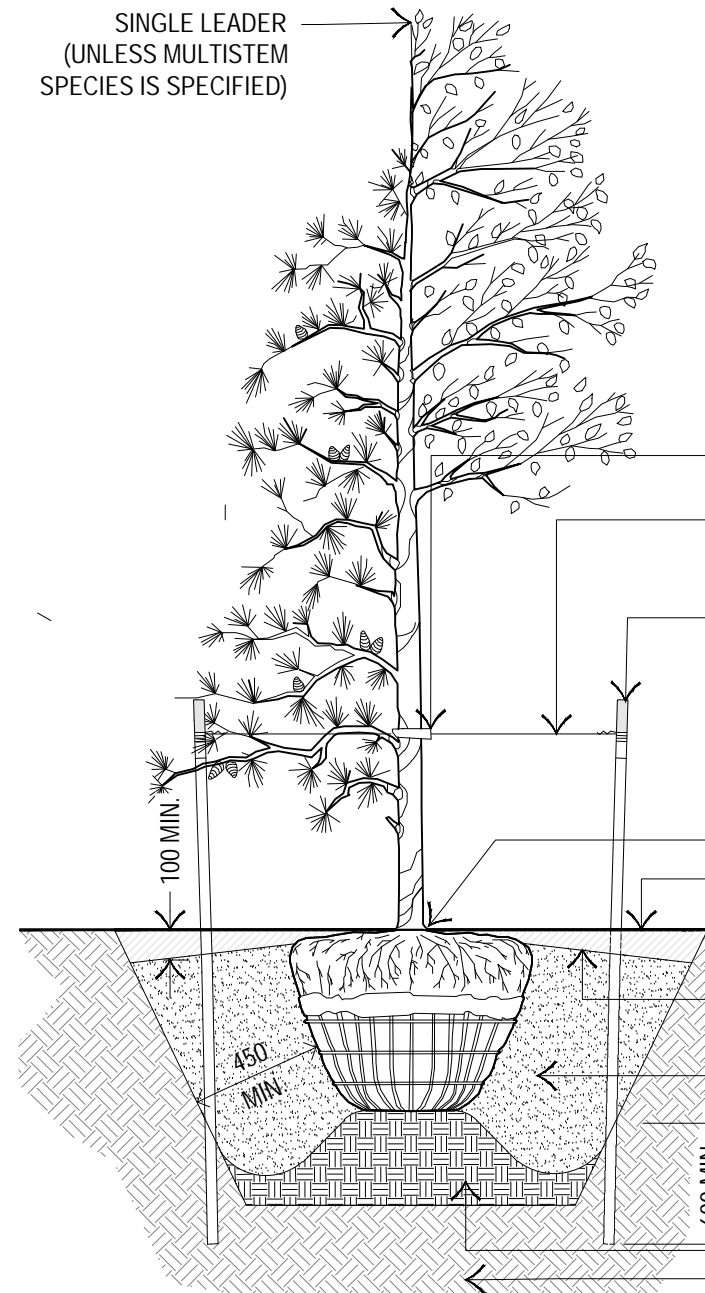
1 TREE SOIL VOLUME PLAN
DP.101 1:250

TREE VOLUME TABLE BASED ON 1M TOPSOIL DEPTH

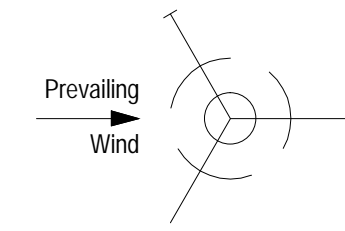
LOCATION	TREE TYPE(S)	QUANTITY	SIZE(S)	SHARED / SINGLE TREE	SOIL VOLUME REQUIRED	SOIL VOLUME PROVIDED	SOIL BASED LANDSCAPE %
A	LODGEPOLE PINE	3	L	SHARED	45M3	133.48M3	100%
B	ARMSTRONG MAPLE	12	L	SHARED	180M3	687.86M3	100%
C	PONDEROSA PINE	8	L	SHARED	150M3	494.35M3	100%
D	LODGEPOLE PINE	6	L	SHARED	105M3	542.13M3	100%
E	RED MAPLE	3	M	SHARED	45M3	67.00M3	100%
F	RED MAPLE	1	M	SINGLE	15M3	21.80M3	100%
G	RED MAPLE	1	M	SINGLE	15M3	19.60M3	100%
H	RED MAPLE	2	M	SHARED	24M3	81.59M3	100%
I	LODGEPOLE PINE	3	L	SHARED	45M3	77.36M3	100%
J	RED MAPLE	1	M	SINGLE	15M3	18.5M3	100%
K	RED MAPLE	1	M	SINGLE	15M3	19.15M3	100%
L	RED MAPLE	1	M	SINGLE	15M3	20.80M3	100%
M	RED MAPLE	1	M	SINGLE	15M3	21.96M3	100%
N	RED MAPLE	1	M	SINGLE	15M3	20.69M3	100%
O	RED MAPLE	1	M	SINGLE	15M3	20.27M3	100%
P	RED MAPLE	1	M	SINGLE	15M3	19.38M3	100%

CONIFEROUS DECIDUOUS

SINGLE LEADER
(UNLESS MULTISTEM
SPECIES IS SPECIFIED)

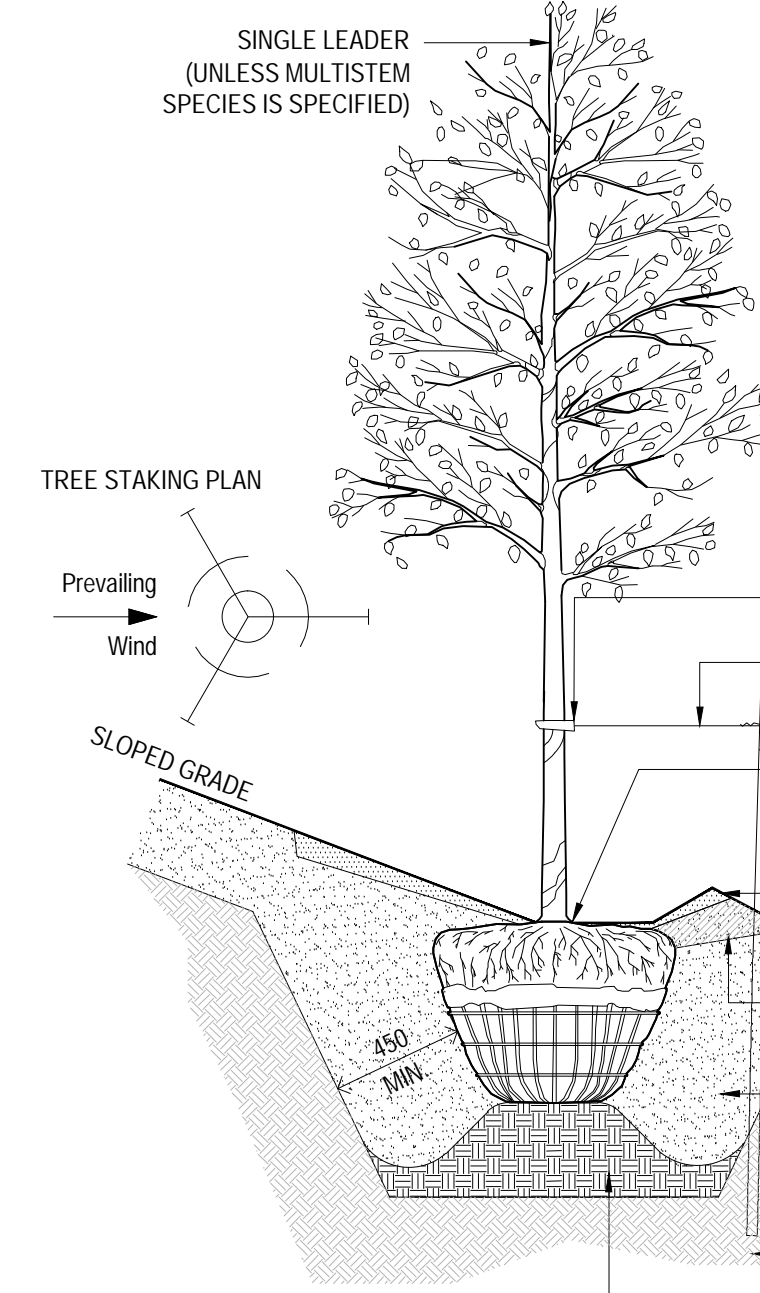


TREE STAKING PLAN



12mm RUBBER STRAP POSITIONED AT APPROX 3/5 HT. - WIRE DOES NOT WRAP AROUND TREE
11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP WITH FLUORESCENT ORANGE FLAGGING ON ALL GUY WIRES
USE TWO VERTICAL STAKES PER TREE:
TREE STAKES MIN. 2.0m LENGTH, PLAIN T-POSTS C/W 7 PUNCHED HOLES OR TEETH/NOTCHES
ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST, SCALED, PRIMED & PAINTED
TOP 300mm OF ALL TREE STAKES TO PAINTED TO MATCH ANNUAL COLOUR CODES
ROOT FLARE AT GRADE
100mm MIN. MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE
SUBGRADE
SLOPE TOPSOIL FROM ROOT FLARE TO EDGE OF HOLE TO FROM WELL
CLASS 'B' TOPSOIL MIX MODERATELY PACKED - REFER TO TOPSOIL SPECIFICATIONS
COMPACTED CLAY BELOW ROOT BALL
UNDISTURBED NATIVE SOIL

SINGLE LEADER
(UNLESS MULTISTEM
SPECIES IS SPECIFIED)



12mm RUBBER STRAP POSITIONED AT APPROX 3/5 HT. - WIRE DOES NOT WRAP AROUND TREE
11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP WITH FLUORESCENT ORANGE FLAGGING ON ALL GUY WIRES
USE TWO VERTICAL STAKES PER TREE:
TREE STAKES MIN. 2.0m LENGTH, PLAIN T-POSTS C/W 7 PUNCHED HOLES OR TEETH/NOTCHES
ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST, SCALED, PRIMED & PAINTED
TOP 300mm OF ALL TREE STAKES TO PAINTED TO MATCH ANNUAL COLOUR CODES
ROOT FLARE AT GRADE
100mm MIN. MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE
SUBGRADE
SLOPE TOPSOIL FROM ROOT FLARE TO EDGE OF HOLE TO FROM WELL
CLASS 'B' TOPSOIL MIX MODERATELY PACKED - REFER TO TOPSOIL SPECIFICATIONS
COMPACTED CLAY BELOW ROOT BALL
UNDISTURBED NATIVE SOIL

NOTES:

- TREES TO BE PLANTED AT GRADE WITH TRUNK FLARE VISIBLE - NO MORE THAN 25mm ABOVE GRADE. REMOVE EXCESS SOIL FROM TOP OF THE TREE ROOT BALL PRIOR TO PLANTING IF THE ROOT FLARE IS NOT VISIBLE.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
 - STAKE BEYOND EDGE OF ROOT BALL
 - TREES SHOULD BE PLANTED IN A 75mm-100mm TREE WELL AT THE SAME ORIGINAL GROWING DEPTH AS IN THE NURSERY.
 - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
 - IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/ VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
 - USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT. (GUYING & STAKING IS OPTIONAL)
 - PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
- RUBBER STRAP - WIRE DOES NOT WRAP AROUND TREE
11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP
USE THREE 1800mm PAINTED T-BARS (STAKING OPTIONAL)
ROOT FLARE AT GRADE. REMOVE EXCESS SOIL FROM TOP OF THE TREE ROOT BALL PRIOR TO PLANTING IF THE ROOT FLARE IS NOT VISIBLE
75mm DEPTH MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE - NO MORE THAN 25MM DEPTH MULCH OVER ROOTBALL
ROUNDED TOPSOIL BERM 100MM HIGH X 300MM WIDE ABOVE ROOT BALL SURFACE TO BEGIN AT OUTER EDGE OF ROOTBALL
TOPSOIL MIX FIRMLY PACKED - REFER TO TOPSOIL SPECIFICATIONS

SUBGRADE
COMPACTED CLAY BELOW ROOT BALL

2 TYPICAL TREE PLANTING DETAILS
DP.101 1:25

Seal



RELEASES

NO	DESCRIPTION	DATE
01	ISSUED FOR DP	2025.08.07

BLUE SKY KELOWNA

MANOR ADDRESS
675 BLACK MOUNTAIN DRIVE, KELOWNA, BC

LEGAL ADDRESS
LOT: 3 SECTION: 19 TOWNSHIP: 27 P: KAP87003

PROJECT NO
23.26 ECC_BSC

DRAWN
SK

CHECKED
RB

DATE
2023.08.30

SCALE
AS NOTED

DRAWING TITLE
TREE VOLUME PLAN

DRAWING NUMBER

DP.101

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[SMM]

Blue Sky | Budget Cost Estimate: Landscape Works

Date: March 7, 2025

Project Name: Blue Sky

Town File Number:

Prepared by: Scatliff+ Miller+ Murray inc. [SMM]

1.0 Softscape | On Site Works

Item	Description	Qty	Unit	Unit Cost	Total Estimated Cost
1.1	Coniferous Trees – 3.5m ht	17	ea	\$750.00	\$12,750.00
1.2	Coniferous Trees – 2.5m ht	5	ea	\$650.00	\$3,250.00
1.3	Deciduous Trees - 70mm caliper	27	ea	\$600.00	\$16,200.00
1.4	Deciduous Shrubs - #2	289	ea	\$25.00	\$7,225.00
1.5	Coniferous Shrubs - #2	35	ea	\$35.00	\$1,225.00
1.6	Ornamental Grasses – 10cm pot	501	ea	\$15.00	\$7,515.00
1.7	Naturalized Seed	2326	m2	\$1.50	\$3,489.00
1.8	Sod	230	m2	\$6.50	\$1,865.50
1.9	Rock Mulch	456	m2	\$35.00	\$15,960.00
1.10	Topsoil + Fine Grading	3012	m2	\$10.00	\$30,120.00

Softscape Sub-total:

\$99,599.50

2.0 Hardscape + Site Furnishings | On Site Works

2.1	Synthetic Turf	101	m2	\$250.00	\$25,250.00
2.2	Bike Racks	15	ea	\$500.00	\$7,500.00

Hardscape Sub-total:

\$32,750.00

TOTAL ON SITE LANDSCAPE WORKS:

\$132,349.50

GRAND TOTAL ON SITE LANDSCAPE WORKS:

\$132,349.50

We trust you will find the above in order.

Sincerely,

SCATLIFF+MILLER+MURRAY landscape architects



Deron Miller Principal BES MLArch BCSLA AALA CSLA